



I.B.I.S.

INTEGRATED BUILDING
AND INSPECTION SERVICES



WE PRIDE OURSELVES ON THE QUALITY REPORTS AND INSPECTIONS WE PRODUCE!

- BUILDING REPORTS
- FOR HOME BUYERS
- FOR HOME SELLERS
- TERMITE REPORT
- COMPLIANCE REPORT

- ENERGY RATING
- NEW HOMES
- EXISTING HOMES

- BUILDING DESIGN
- SKETCH PLANS
- WORKING DRAWINGS
- COSTING / ESTIMATING

- CONSTRUCTION
- SUPERVISION
- BUILDING / CARPENTRY
- TIMBER FLOORING

COMPLIANCE & EER

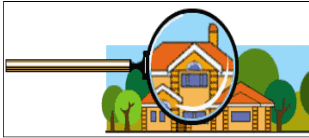


REPORT

18 Nunan Crescent, Oxley.

P.O. Box 744, QUEANBEYAN NSW 2620.

PHONE: 02 6299 5961 FAX: 02 6299 7207 MOBILE: 0412 510 789



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**INTEGRATED BUILDING
AND INSPECTION SERVICES**

PROPERTY DETAILS


PROPERTY ADDRESS : 18 NUNAN CRESCENT, OXLEY ACT 2903.
BLOCK & SECTION: BLOCK 14, SECTION 22 , OXLEY.
BUILDING STYLE : SINGLE STOREY, BRICK VENEER, SLAB FLOOR, TILED ROOF.
OWNER'S NAME : ANTHONY JOHN VICKERS .
OWNER'S SOLICITOR : KAREN CROSS / GOODMAN LAW.
AGENT : GREG SADIL / SADIL QUINLAN PROPERTIES - BRADDON.
INSPECTOR : GEORGE PUDJA.
DATE OF INSPECTION : MONDAY 15 JULY 2013.
REPORT NUMBER : 7061.



Greg Sadil
Principal

Phone: 02 6249 7588
 Fax: 02 6247 2045
 greg@sadilquinlan.com.au
 1 Torrens Street
 Braddon ACT 2612
 www.sadilquinlan.com.au

Mobile: 0414 631 607



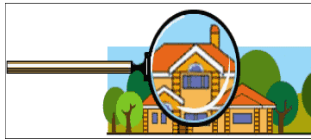
Karen Cross
CONVEYANCER

t 02 6206 9900
 f 02 6206 9906
 2 /13 London Cct
 GPO Box 1674
 Canberra ACT 2601
 e karen@goodmanlaw.com.au
 w www.goodmanlaw.com.au



18 Nunan Crescent, Oxley.

P.O. Box 744, QUEANBEYAN N.S.W. 2620
 PHONE: 02 6299 5961 FAX : 02 6299 7207 MOBILE : 0412 510 789



SCOPE OF REPORT

The report will primarily focus on compliance of the existing residence and other structures, with the approved plans, certificates and building regulations.

Any items which may be of concern are highlighted in red text and underlined throughout the report, and all the approved plans and certificates are attached at the rear.

COMPLIANCE REPORT

The property is situated a the Northwestern end of Nunan Crescent, which runs off Newman-Morris Circuit. The house is orientated on a Northeast/Southwest axis, with the front facing Southwest and the land sloping considerably from left to right.

The setout dimensions for the house can be seen on Appendix G & L, at the rear of this report. The boundary offsets were checked and found to be correct.

The original residence has had 3 alterations or additions done, which includes yard structures. (See photo no. 1 & 2 for front and rear)

- **The residence** was approved on the 02 / 05 / 1985. See Appendix F & L.
- **The garden and tool shed** has an Application Only and no C of O issued; however this was either never built or since removed, and no further action is required. See Appendix B & E.
- **The garage-store-workshop** was approved on the 12 / 09 / 2001. See Appendix D & K. (See photo no. 3)
- **The new garage** was approved on the 06 / 06 / 2011. See Appendix C & J. (See photo no. 3)
- **The small pergola along the left side** is not approved, but meets the criteria for exemption from approval, and no further action is required. (See photo no. 4).
- **Please refer to the ESDD website** listed http://www.actpla.act.gov.au/topics/design_build/da_assessment/exempt_work for ACTPLA guidelines on items that do not require approval.
- See **Page 6 for Summary of Compliance issues.**





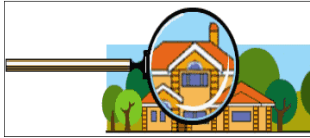
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AND INSPECTION SERVICES**

The following is a checklist for compliance of the house and any other structure on ;
BLOCK 14, SECTION 22, OXLEY

COMPLIANCE CHECK LIST										
ITEM CHECKED	Complies YES	Complies NO	N/A	Not on FILE	Not Issued FINAL	Pending FINAL	From Approval EXEMPT	EASEMENT Encroachment		COMMENTS
Front Boundary	<input checked="" type="checkbox"/>									
Rear Boundary	<input checked="" type="checkbox"/>									
Side Boundary	<input checked="" type="checkbox"/>									
Easements	<input checked="" type="checkbox"/>									
Garage	<input checked="" type="checkbox"/>									
Carport			<input checked="" type="checkbox"/>							
Garage-shed-workshop	<input checked="" type="checkbox"/>									
Decks			<input checked="" type="checkbox"/>							
Pergolas							<input checked="" type="checkbox"/>			
Retaining walls			<input checked="" type="checkbox"/>							
Driveway	<input checked="" type="checkbox"/>									
Exterior Appearance	<input checked="" type="checkbox"/>									
Interior layout	<input checked="" type="checkbox"/>									
Residence	<input checked="" type="checkbox"/>									
Alterations			<input checked="" type="checkbox"/>							
Extensions			<input checked="" type="checkbox"/>							
Access & Egress	<input checked="" type="checkbox"/>									
Party-wall design			<input checked="" type="checkbox"/>							
Stairs (Goings & Risers.)			<input checked="" type="checkbox"/>							
Handrails			<input checked="" type="checkbox"/>							
Ceiling heights	<input checked="" type="checkbox"/>									
Ventilation	<input checked="" type="checkbox"/>									
Wood Heater			<input checked="" type="checkbox"/>							
Swimming Pool			<input checked="" type="checkbox"/>							
Shade Sails			<input checked="" type="checkbox"/>							

The above check list is a quick reference for clients to see which items were checked during the inspection in relation to approved drawings and compliance of such items.



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The following summary lists the file documents obtained from the building file which are attached to this report as Appendices at the rear;

APPENDIX SUMMARY	
APPENDIX NUMBER	DESCRIPTION
Appendix A	File search request form.
Appendix B	File index form found on the file cover.
Appendix C	Certificate of Occupation for new garage, 06 / 06 / 2011.
Appendix D	Certificate of Occupation for garage-store-workshop, 12 / 09 / 2001.
Appendix E	Application for Approval of Plans for garden & tool shed, 11 / 02 / 1985.
Appendix F	Certificate for Occupancy for brick veneer residence, 02 / 05 / 1985.
Appendix G	Survey certificate, 14 / 02 / 1985.
Appendix H	Updated Sanitary drainage plan, 12 / 11 / 2009.
Appendix I	Sanitary drainage plan, 10 / 01 / 1985.
Appendix J	Approved plans for new garage, 12 / 03 / 2009.
Appendix K	Approved plans for garage-store-workshop, 18 / 07 / 2001.
Appendix L	Approved plans for residence, 27 / 11 / 1984.
Appendix M	IBIS Insurance details.
Appendix N	Copy of IBIS Invoice / Receipt.
Appendix O	IBIS EER - Energy Efficiency Rating.
Appendix P	
Appendix Q	
Appendix R	
Appendix S	
Appendix T	
Appendix U	
Appendix V	
Appendix W	
Appendix X	
Appendix Y	
Appendix Z	



I.B.I.S

INTEGRATED BUILDING
AND INSPECTION SERVICES

SUMMARY OF COMPLIANCE ISSUES

After reviewing the available building file documents and plans and comparing them to the structures found on site during our inspection, the following is what I have deduced;

- **The residence** was approved on the 02 / 05 / 1985. See Appendix F & L.
- **The garden and tool shed** has an Application Only and no C of O issued; however this was either never built or since removed, and no further action is required. See Appendix B & E.
- **The garage-store-workshop** was approved on the 12 / 09 / 2001. See Appendix D & K.
- **The new garage** was approved on the 06 / 06 / 2011. See Appendix C & J.
- **The small pergola along the left side** is not approved, but meets the criteria for exemption from approval, and no further action is required.
- **There are no encroachments to the easement**, but it should be understood that if you do build an unapproved structure on the easement and that if local government authorities need to work along the easement, they have the right to remove unapproved encroaching structures at the owner's expense.

This report should be read in conjunction with the Pest & Building report, and it should be understood that if changes occur to the approval status of onsite structures after our report is issued, that no specific action is needed as long as all parties are aware of the changes and approved documents are included in the contract of sale (ACT only). However, if amended reports are requested from IBIS, this will be charged at an additional cost to be determined based on the extent of changes requested.

Best wishes and regards

George Pudja

Proprietor of IBIS
HIA Member – 838954
Certified Building Consultant - BC737
Certified Pest Inspector - PESTMGMT007605
Licensed Builder - 19957795 ACT, 123582C NSW
ACTEHERS Certified Energy Rating Assessor - 04-0288
QBE Professional Indemnity Insurance Policy No: 09 P000974 PLB



Building Conveyancing Enquiries and Energy Rating Package Application

About this form

Use this form to request and pay for an Energy Rating Package or Conveyancing Enquiry for either a Residential or Non Residential ACT property with the ACT Planning and Land Authority.

All fields are mandatory unless stated otherwise.



The ACT Government is committed to improving the accessibility of web content. To provide feedback or request an accessible version of a document please phone 13 22 81.

Request Type & Professional User

Select a request type

Are you a Professional User registered with the ACT Planning and Land Authority? Yes No



Professional User Details

Professional User ID

Name title (optional)

Given name

Family name

Contact phone number

Property Information

Suburb/District

Section

Block

Unit (optional)

Lessee

Applicant's Reference (optional)

If you require help with suburb/district, section or block details click this information button



Address

Address (optional)

Suburb

State/Territory

Postcode

Location description (optional)

Additional Property Information

If the residence is a former Government residence without alterations or additions, the building plans may not be available.

Is the property an ex Government residence? Yes No

Additional Documentation

Please click the appropriate box to include any of the following documentation. Additional fees apply (optional)

Sanitary Drainage Plan

Priority

Our aim is to provide a 4 to 5 full working day turnaround period for a standard service. The turnaround time commences from receipt of the request at Mitchell and does not include weekends, public holidays or delivery time by mail or DX for professional users. For high priority requests an additional surcharge is applied and the turnaround period is 24 hours with the same conditions specified above.

What is the priority of this request? Standard High

Method of Delivery

Please select your preferred delivery method

- Collect at Mitchell Counter
- Collect at ACT Government Shopfront
- DX number
- By mail to the address provided

Applicant Declaration

As the applicant lodging this request, you are declaring:

- I am the lessee/owner.
- I am the solicitor acting on behalf of the lessee/owner.
- I have authorisation from the lessee/owner.
- I am/act for a mortgagee in possession.
- I have authorisation from the solicitor representing the lessee/owner.
- I have authorisation from the Trustee of the deceased estate.
- I have authorisation for power of attorney from the lessee/owner.

Please Note:

1. Documentation confirming that you have the lessee/owner's permission is required in all instances. Unless you have a "Professional User" ID you must present this written proof when you collect the requested information from the Mitchell Counter.
2. The applicant must comply with one of the above declarations to protect any personal information relating to the lessee/owner of this lease under the provisions of the Privacy Act 1988.
3. Section 59A of the ACT Building Act 1972 provides severe penalties for false or misleading statements.

Pay Now

Payment amount

\$ 100.80

Receipt

Your payment has been successful. Please keep a copy of this receipt for your records.

Date and time **21 Jun 2013 10:54:26**

Form submission ID **34003920130621103903**

Payment receipt number **317210345321**

Total amount paid \$ **100.80**

To save or print a copy of the completed form and receipt go to the "File" menu and select "Save as" or "Print".

Environment and
Sustainable
Development
Directorate
ABN 31 432 729 493

GPO Box 1908
Canberra ACT 2601
Telephone: **132281**

Your personal information will be used for the purposes to completing your enquiry and will be disclosed to the Environment and Sustainable Development Directorate to achieve that purpose and kept on file. Details about this transaction will be released to you or your financial institution if this transaction is queried and otherwise will not be disclosed to any third party except in accordance with the Privacy Act 1988 (Cth).

Form ID: 1014

Version: 21

Date: 21 Jun 2013

CONVEYANCING PART 2

No information is provided in respect of electrical, drainage or sewer matters and or to the location of overhead power lines or underground cables in relation to the building.

- | | <u>Yes</u> | <u>No</u> |
|--|--------------------------|-------------------------------------|
| 1. (a) Is this a government or ex government house? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| (b) If yes, is there a building file with approvals on it? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 2. Is there any record of incomplete building work on the building file?
See file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. Are there any records on the building file of current housing
Indemnity insurance policies for building work?
(Current within 5 years) See file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. Are there any records on the building file showing building
applications still being processed?
(Current within 3 years) See file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5. Are there any records on the building file of current notices issued
over the property? See file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

If available, copies of the following documents are provided:

- | | | |
|--------------------------------|-------------------------------------|-------------------------------------|
| • Certificate of Occupancy | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Survey Certificates | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Approved Building Plans | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Ex government Building Plans | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

If requested:

- | | | |
|--------------------|-------------------------------------|--------------------------|
| • Drainage Plan(s) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--------------------|-------------------------------------|--------------------------|

Search officer comments (if any?) See Index

Search officer initials: Tina

Cost of application: \$ 100.80

Date completed: 27-06-2013

Please Note: Building approvals that have been generated via eDevelopment will be issued with a project number prefixed by the letter B. Initial building approval documentation will be identified with project number B20XXXXX only but will be referenced as B20XXXX/A on the Certificate of Occupancy and Use. Any amendments to the original approval will be issued with the project number and an alphanumeric digit. The first amendment will be identified as B20XXXX/B, the second amendment B20XXXX/C etc.

CONVEYANCING BUILDING FILE INDEX

SUBURB: OXLEY SECTION: 22 BLOCK: 14 UNIT: - EX GOV: NO PAGE: 1 of 1

COU ISSUED Y/N	PLAN NUMBER	FOLIO NO.	DESCRIPTION OF WORK	AMEND	DETAILS	INDEM INSUR	SURVEY	PERMIT NUMBER	COST OF WORKS	COU PLAN NO. & DATE	FOOTINGS DATE
Y	65986	2	RESIDENCE						\$43,000		
		7						65986			
N	65986/A	10	GARDEN & TOOL SHED								
		11	SURVEY				Y				
		17	FINAL (65986)								02-05-85
		19								65986 02-05-85	
Y	012804/A	28	GARAGE - STORE - WORKSHOP					012804/A	\$8,672		
		29	FINAL								07-09-01
		32								012804/A 12-09-01	
Y	091186/A	/	GARAGE					091186/A	\$20,790		
		/	FINAL								06-07-09
		/								091186/A 06-06-11	

Drainage Plan Number: 42514

Soil Classification Number: -

Comments: No COU issued for Plan Number 65986/A for a Garden & Tool Shed – Application Only.





ACT Planning and Land Authority

GPO Box 1908, Canberra ACT 2601

C

Certificate of Occupancy and Use

Certificate No. 091186N1C1

This Certificate is issued in accordance with Section 69 (2) of the Building Act.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered fit for occupation and use.

Builder MARK PATRICK CROOKS	Suburb OXLEY	Section 22	Block 14
Notice of Intention to Start Work Number 091186N1	Plan 091186/A		

Building Work

Nature of Work	Project/Item Description	Unit	Other Description	Class of Occupancy	Type of Construction
NEW	GARAGE			10a	NA

Comments

Important note:

1. Residential building statutory warranties and residential insurance does not apply in relation to building work.
2. The issue, under this Part, of a certificate in respect of a building or portion of a building does not affect the liability of a person to comply with the provisions of a law of the Territory (including this Act) relating to the building or portion of the building.

CARL BUNK
Delegate of the Registrar

6/16/2011
Date



32 D

ACT Building, Electrical and Plumbing Control

GPO Box 1908, Canberra ACT 2601

Certificate of Occupancy and Use

Certificate No. 012804N1C1

This Certificate is issued in accordance with Section 53 (3) of the Building Act 1972.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered fit for occupation and use.

Builder W R ENGINEERING PTY LTD	Suburb OXLEY	Section 22	Block 14
Notice of Intention to Start Work Number 012804N1	Plan 012804/A		

Building Work

NEW	GARAGE	STORE - WORKSHOP	10a	NA
-----	--------	------------------	-----	----

Comments

Important note:

1. Residential building statutory warranties and residential insurance does not apply in relation to building work.
2. The issue, under this Part, of a certificate in respect of a building or portion of a building does not affect the liability of a person to comply with the provisions of a law of the Territory (including this Act) relating to the building or portion of the building.

TED MILNE
Deputy Building Controller

12 19 2001
Date



Department of Territories
and Local Government

BUILDING SECTION
North Building, Civic Offices,
London Circuit, 491355

APPLICATION FOR APPROVAL OF PLANS

BL 1/6(6/83)

PLANS/FILE No. *65986/A*
Received Building Section

11 FEB 1985



Name of Applicant

BRUCE EDWARD BEVERIDGE

Address *18 ALANAL CRE*
Dep. Territories and Local Government

Phone Wk: *726799* Hm: *977332* Postcode *15.00*

Name of lessee/owner of parcel of land

AS ABOVE

Address (show P.O. Box No. if any)

*13 BOWERS PLACE
QUEANBEYAN*

Phone Wk: *726799* Hm: *977332* Postcode

Description of the building work involved in this application

GARDEN & TOOL SHED

Description of land on which the building work is to be carried out

Block *14*

Section *22*

Division (Suburb) *OXLEY*

To be specified in accordance with the appropriate classification in the Building Manual.

Type of construction

(NIA for Class I or X buildings)

cost *\$200*

Class of occupancy

Total floor area where applicable

This application is for:
(please tick appropriate box)

New work

Amendment to approved plan

Amendment to plan not yet approved

Details

Design information required under s.32 of the Building Ordinance to be provided by designer/applicant --

Classification of foundation material:

Stable

Unstable

Wind loading - AS1170: Terrain category

Max. design wind speed

M/S

Note: Approval is based on design information submitted on plans and above. Competent building consultants should be employed by the owner to advise on technical matters.

I hereby apply for approval of the attached plans, and request that approved plans be--

posted to the applicant's address

held at the counter for collection (telephone advice will be given when ready for collection)

Beveridge
signature of applicant

13/2/84
date

To be completed if application made otherwise than by the lessee / owner, his solicitor or architect.

I hereby authorise the abovenamed applicant of the address indicated to make this application on my behalf

signature of lessee / owner

date

FOR OFFICE USE ONLY

New work

Amendment to approved plan

Amendment to plan not yet approved

Details

Notify applicant

new permit required

endorse existing permit

Permit fee required

Plans numbered

65986/A

Class of licence required

Area

Valuation

Total fees payable

\$15

Plans

Approved

Not approved

Deputy Building Controller

date

PLANS/FILE No. 65986

Received Building Section

11 FEB 1985

Dept. Territories & Local Government

BUILDING WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS THE BUILDING MANUAL ACT, THE NOTATIONS MADE ON THE PLANS AND ANY MATTERS SPECIFIED ON THE BUILDING PERMIT. THE APPROVAL OF PLANS OR THE GRANT OF A BUILDING PERMIT DOES NOT AFFECT THE OPERATION OF ANY OTHER LAW IN THE TERRITORY, NOR DOES IT AUTHORISE THE USE OF THE LAND CONTRARY TO A PROVISION, COVENANT OR CONDITION OF LEASE.

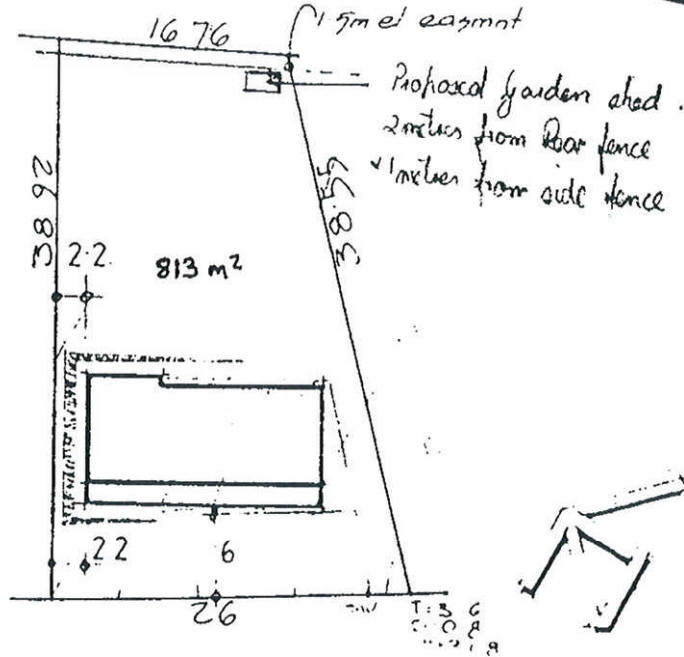
MODIFICATIONS IF APPLICABLE

BUILDINGS (DESIGN AND SITING) ORDINANCE 1984 AS AMENDED APPROVAL GRANTED

15 FEB 1985

DELEGATE U. M. Miller NATIONAL CAPITAL DEVELOPMENT COMMISSION

r r x r 11



SITE PLAN

Scale 1:500

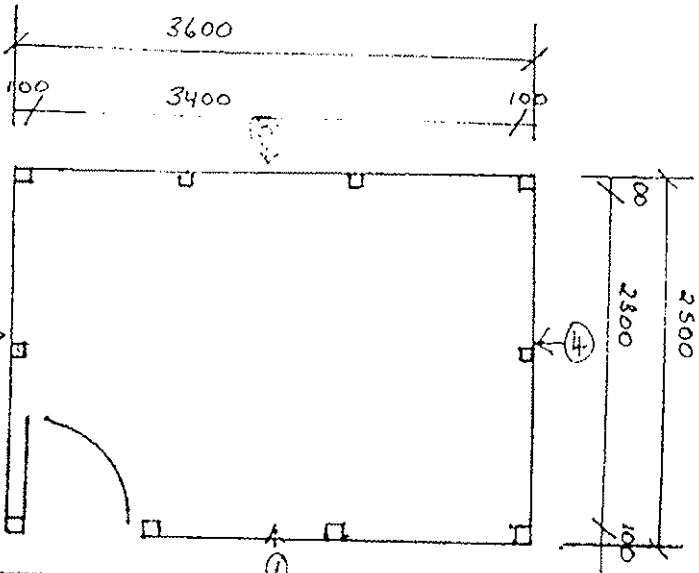
100mm RC slab 1 layer #62 mesh on 20mm moisture barrier, 50mm sand bed on 400max fill

S1/2

GARDEN 4700 L SHED

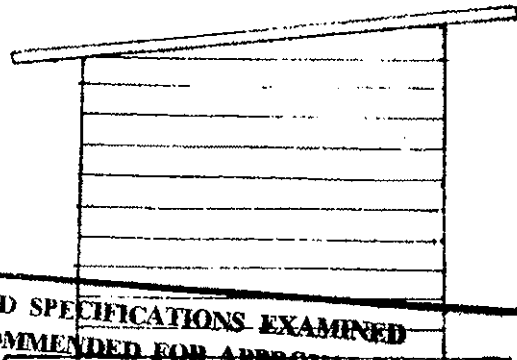
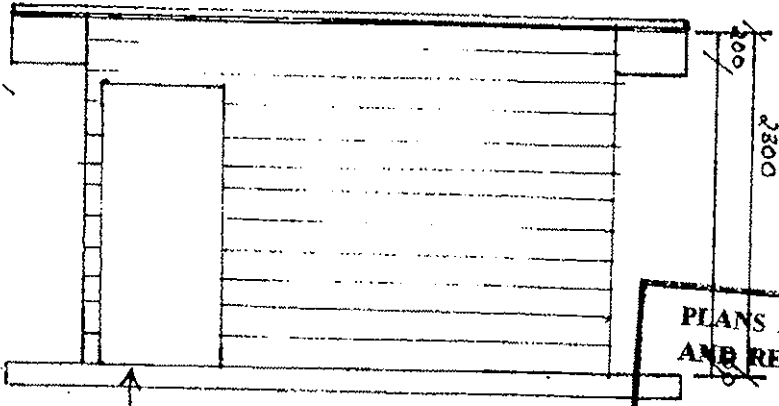
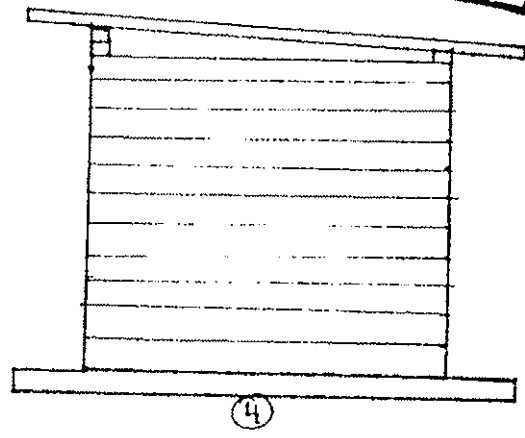
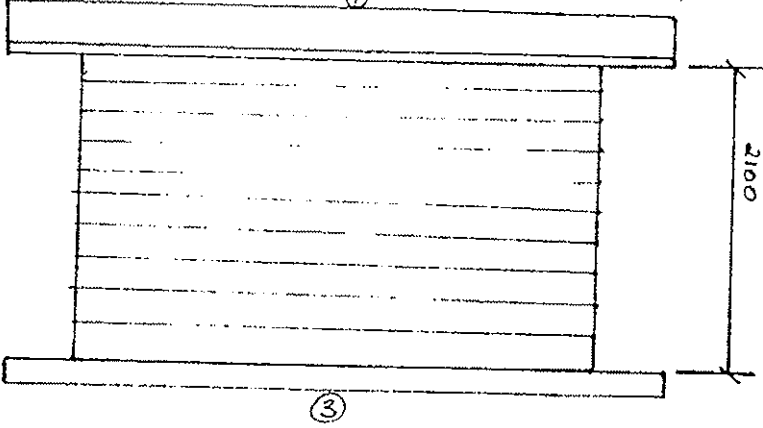
PLANS/FILE No. 63986/A
 Received Building Section
 11 FEB 1985
 Dept. Territories & Local Government

FLOOR PLAN



ROOF - GALVANISED IRON
 WALLS - HARD PLANK 230mm X 3600mm

TIMBER
 RAFTERS 100mm X 50mm
 POSTS 100mm X 50mm
 STUDS 40mm X 50mm
 INTERIOR DOORS 600mm X 2000mm
 APPROVAL GRANTED
 15 FEB 1985
 DELEGATE *V. M. Male*
 NATIONAL CAPITAL DEVELOPMENT COMMISSION
 ELEVATIONS



① 150mm R.C slab layer of f62 mesh.

PLANS AND SPECIFICATIONS EXAMINED AND RECOMMENDED FOR APPROVAL BY
 ② 7/719
 ENGINEER FOR WATER SUPPLY AND SEWERAGE
 CHIEF ELECTRICAL ENGINEER 1/19 OXLEY
 STRUCTURAL ENGINEER 1/19



19

F

CERTIFICATE OF OCCUPANCY OR USE

Pursuant to Part V of the Building Ordinance 1972, the building consisting of;

.....
BRICK VENEER RESIDENCE
.....

situated at

Block 14	Section 22	Division OXLEY.
or situated at		

is considered to be substantially in accordance with the prescribed requirements for occupancy and use, subject to the endorsements listed below .

Approved plan Nos. 65986		
Type of construction * 5	Class of occupancy * 1	(* as defined in the Building Manual A.C.T.)
Permit No. 70837	Name of permit holder T. P. DUNCAN	

Endorsements

.....
.....
.....
.....
.....
.....
.....
.....
.....
.....
.....

The issue of this Certificate does not affect the liability of a person to comply with the provisions of a law of the Territory (including the Building Ordinance) relating to the building work nor does it authorise the use of the land contrary to a provision, covenant or condition of lease .

43535

Dunlop

Deputy Building Controller

2, 5, 85
date

SEE OVERLEAF



Ellison & Head Pty. Ltd.

Land and Engineering Surveyors

REGISTERED IN A.C.T. and N.S.W.

MEMBERS OF THE INSTITUTE OF SURVEYORS, AUSTRALIA

Office: 48 Bendigo Street,
Fisher, A.C.T. 2611

P.O. Box 121,
Weston, A.C.T. 2611

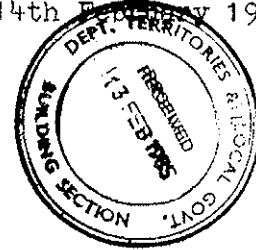
Phone: 88 3686

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OUR REF.: 85/3

YOUR REF.:

14th February 1985



The Manager,
Duncan Homes Pty Limited,
16 Longmore Crescent,
WANNIASSA A.C.T. 2902

Dear Sir,

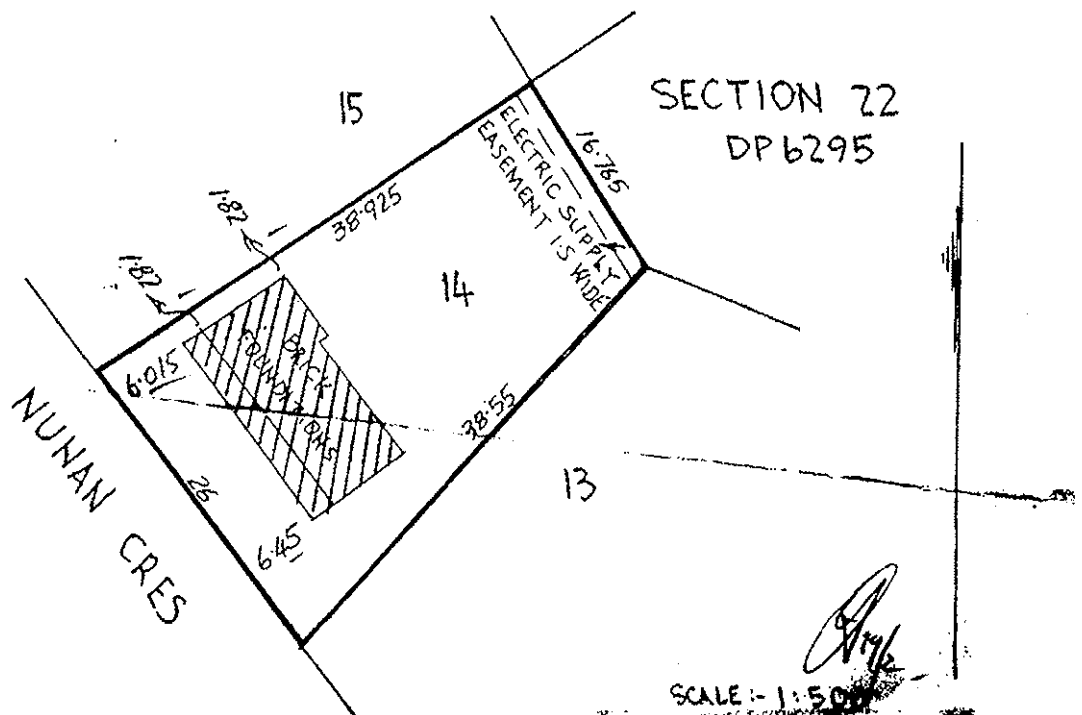
I have made a survey of Block 14 of Section 22 in the Division of Oxley in the Tuggeranong District of the Australian Capital Territory as shown on Deposited Plan No 6295 and being the land shown edged red on the sketch below.

I find thereon brick foundations of a cottage under construction, no part of which extends beyond the correct boundaries of the block.

The dimensions of the block and the position of the cottage on the block are shown upon the sketch below.

The block is unfenced and there are no apparent encroachments upon the subject land.

Yours faithfully,



SANITARY FIXTURES

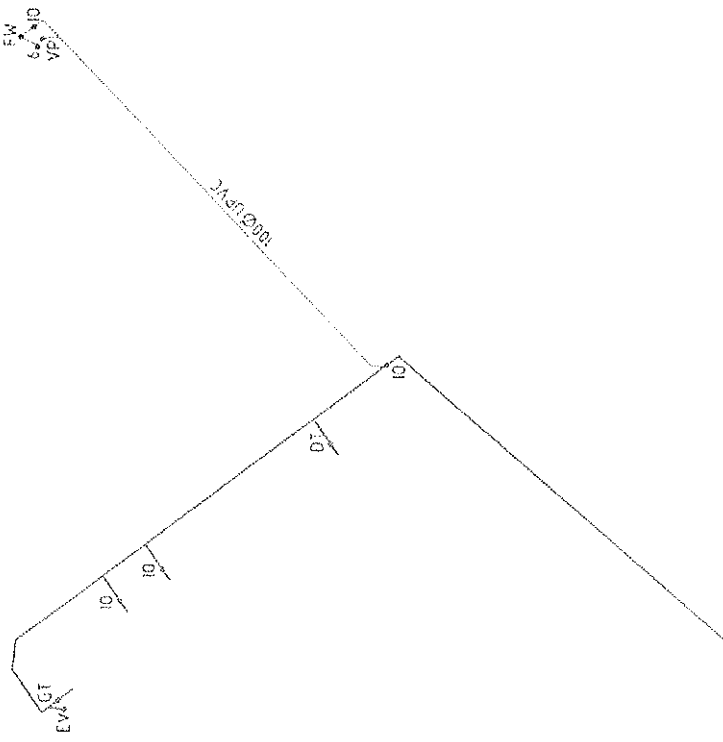
- 1. WC
- 2. BATH
- 3. BASIN
- 4. SHOWER
- 5. KITCHEN SINK
- 6. LAUNDRY TROUGH

GENERAL NOTES

1. EXISTING SEWER LINES TO BE LOCATED ON SITE PRIOR TO COMMENCEMENT OF WORK.
2. ALL PLUMBING AND DRAINAGE TO BE INSTALLED IN ACCORDANCE WITH AS3500.
3. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS.
4. THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS AND SPECIFICATIONS.
5. INSPECTION SHAFT AT PROPERTY BOUNDARY TO BE IN ACCORDANCE WITH PLUMBING NOTE NO. 2.
6. ORG LEVELS TO BE IN ACCORDANCE WITH AS3500.22 CLAUSE 4.6.6.6 & 4.6.6.7 & PLUMBING NOTE 22.
7. UNPLASTICISED POLYVINYL CHLORIDE PIPE DRAINS (UPVC) TO BE CONSTRUCTED IN ACCORDANCE WITH AS2832 AND THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS.
8. TEMPERED HOT WATER REQUIRED AT ALL ABLUATION FIXTURES.
9. PLUMBING AND DRAINAGE TO CONFORM TO A.C.P.L.A. PLUMBING NOTES 22 AND 23.

DOWN PIPE NOTES

1. DOWNPIPES MUST BE SECURELY FIXED TO WALLS.
2. THE SPACING BETWEEN DOWNPIPES MUST NOT MORE THAN 1.0 M.
3. DOWNPIPES MUST BE FIXED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS AND IF THE DOWNPIPE IS MORE THAN 1.2M FROM VALLEY PROVISION FOR OVERFLOW MUST BE MADE.
4. WHERE HIGH-FRONTED GUTTERS ARE INSTALLED, PROVISION MUST BE MADE TO AVOID ANY OVERFLOW FROM FLOWING BACK INTO ROOF OR BUILDING STRUCTURE BY INSTALLING SLOTTED GUTTERS OR THE LIKE.
5. DOWNPIPES MUST:
 - A. BE COMPATIBLE WITH OTHER ROOFING MATERIALS USED IN THE ROOFING SYSTEM IN ACCORDANCE WITH 3.5.3(C) OF THE B.C.A.
 - B. BE SELECTED IN ACCORDANCE WITH APPROPRIATE EAVES GUTTER SECTION AS SHOWN IN TABLE 3.5.2.2 OF THE B.C.A.



DRAINAGE PLAN NUMBER: **42514**

OWNER: _____
 BLOCK 14 SECTION 22
 SUBURB OXLEY ACT
PLAN OF SANITARY DRAINAGE
 DESIGNED TO AS3500

LEGEND

- 3 SEWER MAIN
- 4 STOPWATER MAIN
- 5 WATER MAIN
- 6 SEWER LINES
- 7 VENT PIPE
- 8 STOPWATER LINES
- 9 AG LINES
- 10 DOMESTIC WATER
- 11 NON-DRINKABLE WATER
- 12 500 AG LINE WITH FILTER SOCK CONNECTION TO STOPWATER DRAINAGE
- 13 200mm YARD SUPPLY EXACT LOCATION TO BE DETERMINED ON SITE BY LANDSCAPE CONTRACTOR AND BUILDER
- 14 STANDARD STREET HYDRANT
- 15 STOP COCK
- 16 WATER METER
- 17 AIR ADMITTANCE VALVE
- 18 CLEAR OUT
- 19 COLD WATER RISER/DROPPER
- 20 DISCONNECTOR TRAP
- 21 FLOOR WASTE
- 22 HONEY DUTY POLYETHYLENE INSPECTION OPENING
- 23 INSPECTION SHAFT
- 24 OVERFLOW
- 25 OVERFLOW RELIEF JELLY
- 26 STOP LOCK
- 27 SEWER MANHOLE
- 28 SHT TRAP
- 29 SOL VENT PIPE
- 30 TUNDRUSH
- 31 TEST GATE
- 32 SHIPPED TUNDRUSH
- 33 UNPLASTICISED POLYVINYL CHLORIDE
- 34 VENT PIPE
- 35 WASTE STACK

PLUMBING PLAN APPROVED
 APPROVED BY: _____
 REC. NUMBER: **662010**
 DATE: **12/11/09**

RECORDED BY: _____
 RECORDED AT: **12/08/09**
 DRAWING NO: **2280**
 SHEET NO: **H01**

HYDRAULIC SERVICES
 BLOCK 14 SECTION 22
 OXLEY ACT
 CLIENT: **M. SUMMERFIELD**
 PRICE: **\$ 9.00**

A.WARD DESIGNS-ANTHONY WARD
 PO BOX 4311 HAWKER ACT 2614
 FAX: 0262543601
 MOBILE: 0409249974

WORK AS EXECUTED

DATE: _____
 BY: _____



PLAN OF SANITARY DRAINAGE

DRAINAGE PLAN No. 42514

OWNER DUNCAN HOMES PTY. LTD.

BLOCK 14 SECTION 22 OXLEY



REFERENCE

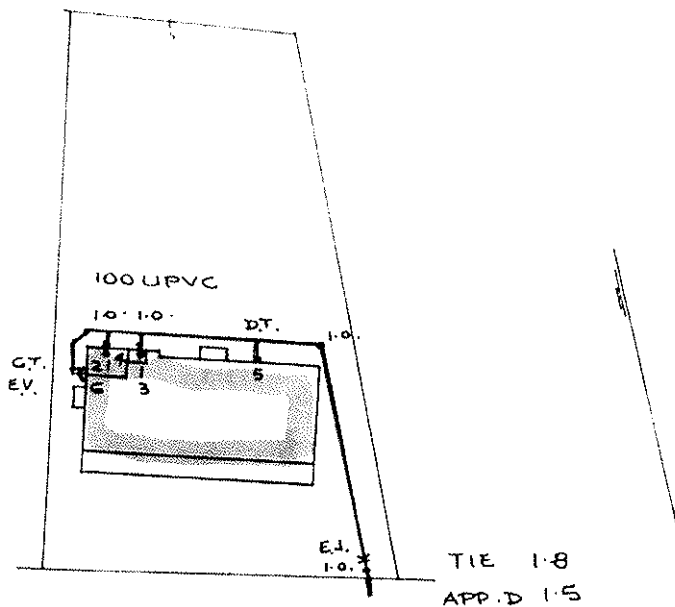
D.T. Disconnector Trap.	S.P.D. Stoneware Pipe Drain.	I.C. Inspection Chamber.	F.T. Floor Trap
E.V. Educt Vent.	C.I.P. Cast Iron Pipe.	M.H. Man Hole.	S.V.P. Soil Vent Pipe.
G.T. Gully Trap.	I.O. Inspection Opening.	V.P. Ventilating Pipe.	V.R. Vertical Riser.
J.U. Jump Up.	F.P. Fixed Point.	E.J. Expansion Joint.	UPVCPD. UPVC Pipe Drain.

NOTE: All work to be executed in accordance with Canberra Sewerage & Water Supply Regulations

SCALE - METRIC 1:500

FIXTURES

	No. off		No. off
1. WATER CLOSET	2	6. TROUGHS	1
2. BATH	1	7. URINAL	-
3. BASIN	1	8. CLEANERS SINK	-
4. SHOWER	1		
5. SINK	1		



NOTES

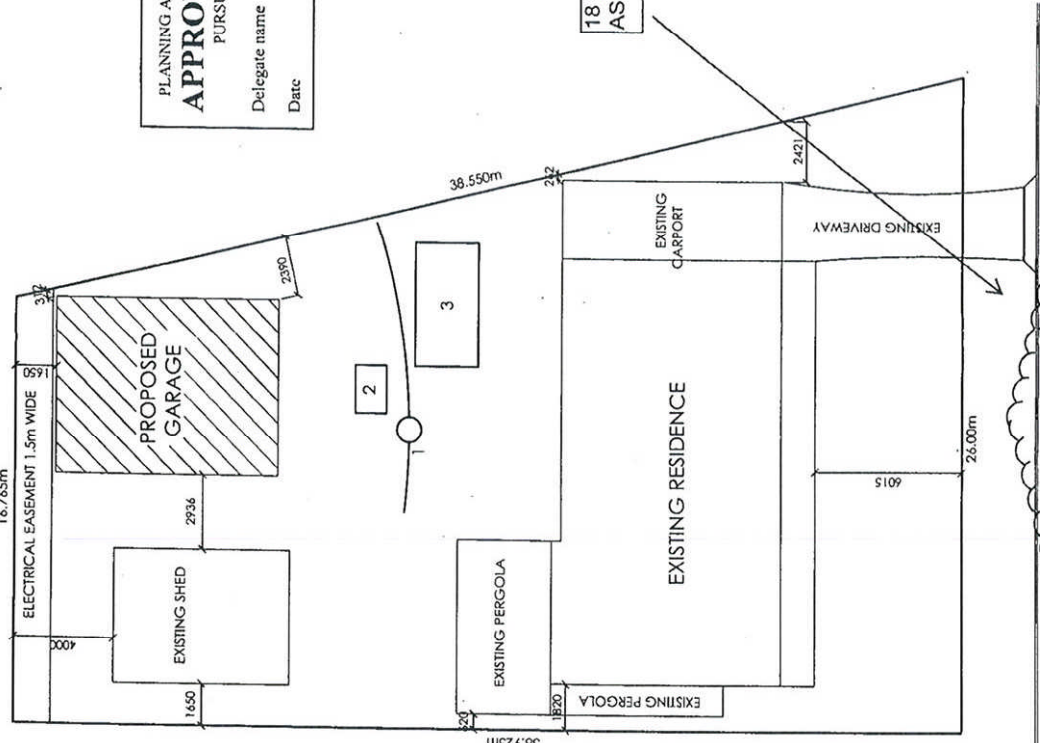
- DRAINS TO BE LAID ARE SHOWN IN BLUE LINES. THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS AND SPECIFICATIONS.
- DRAINS TO BE DELETED SHOWN BY RED X. EXISTING DRAINS SHOWN IN GREEN LINES.
- POSITION OF BRANCH TO BE LOCATED BEFORE ANY WORK IS COMMENCED.
- DRAINS TO BE LAID IN (U.P.V.C.) UNPLASTICISED POLYVINYL CHLORIDE IN ACCORDANCE WITH A.S.A. CA 67 1972 AND CANBERRA CODE OF PRACTICE ISSUE 1 JULY 1974.
- DRAINS BELOW BUILDINGS MUST BE RETESTED. DRAINS HAVING CEMENT JOINTS MUST BE TOTALLY SURROUNDED BY CEMENT CONCRETE 150 mm THICK.

Designed by: McINNES DRAUGHTING

W. J. Bellard
SEWERAGE ENGINEER

10/1/1985

EROSION & SEDIMENT CONTROL PLAN
SCALE 1:200



THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, August 2007.

Plan No: **091186/A**
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PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
PURSUANT TO SECTION 162
Delegate name **RAY BROWN**
Date **12/3/2009**

Class 10a
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Issued under section 28 of the Building Act 2004
Certified Building Solutions Pty Ltd
- 1 APR 2009
Licence No: 200426202

18 NUNAN CRESCENT
AS PER DA FORM

- 1. SEDIMENT CONTROL BARRIER**
Geotextile sediment fencing, on its own or incorporation straw bale filters, must be installed along the lowest side/s of the site. Shade cloth is not adequate and is ineffective in controlling sediment.
- 2. DESIGNATED CUTTING AREA AND WASH AREA**
Ensure all wastewater from brick cutting, concrete works, painting, washing, ect. does not enter the stormwater system. Onsite mixing or washing should be confined out in a designated contained area.
- 3. STOCKPILES**
Ensure all building material and waste stockpiles are contained and stored behind the sediment fence. If there is insufficient storage capacity for building materials within the site, you must first obtain approval for short term use of the nature strip area.

WESTON DRAFTING PTY LTD
PROPOSED GARAGE
CLIENT: MR WICKERS
BLOCK: 14 SECTION: 22
8 NUNAN CRES
MURRAY GILLEY ACT
PO BOX 1769
TUGGERANONG ACT 2901
PH: (02) 6292 3355
FAX: (02) 6291 9155
SCALE 1:200
DRAWING NUMBER 2766/08
DATE 3/10/08
SHEET 1 OF 1
© COPYRIGHT 2003 WESTON DRAFTING PTY LTD

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LANDSCAPE MANAGEMENT & PROTECTION PLAN
SCALE 1:200



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VERGE MANAGEMENT

ALL CARE TO BE TAKEN OF EXISTING PLANTING IN VERGE - NO STORAGE OF BUILDING MATERIALS IN VERGE. EXISTING KERB CROSSING AND DRIVEWAY TO BE USED FOR ALL TRAFFIC AND BUILDING MATERIALS TO BE DELIVERED AND STORED BEHIND EXISTING RESIDENCE. ALL STREET TREES ARE TO BE RETAINED AND KEPT UNDAMAGED.
NO CONSTRUCTION MATERIAL TO BE STORED ON VERGES.
NO SITE SHEDS, STORAGE SHEDS, SITE AMENITIES OR BILLBOARDS TO BE ERRECTED ON VERGES.
CONSTRUCT A TEMPORARY FENCE TO ENCLOSE ALL THE GRASS VERGE AREA BOUNDED BY THERE FOUR SIDES: EXISTING CONC. PATH, EXISTING DRIVEWAY AND THE BACK OF THE KERB. USE 1.8m HIGH CONTINUOUS CHAIN MESH FENCE SUPPORTED BY 2.4m HIGH STAR STEEL POSTS INSTALLED BEFORE ANY OTHER SITE WORKS COMMENCE. IT IS TO BE REMOVED AT COMPLETION OF ALL CONSTRUCTION THROUGHOUT THE PROJECT, EXCEPT WHERE APPROVED SERVICE INSTALLATION IN THE VERGE REQUIRES CLEARANCE FROM CANBERRA URBAN PARKS. AT THE COMPLETION OF CONSTRUCTION VERGES SHOULD STILL HAVE ESTABLISHED DRYLAND GRASS COVER. TOPSOIL IS NOT TO BE REMOVED AND THE SOIL LEVEL MUST NOT BE CHANGED.

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
PURSUANT TO SECTION 162

Delegate name RAY BROWN
Date 12/3/2009

EXISTING
RESIDENCE

TEMPORARY 1.8m HIGH MESH FENCE TO VERGE
(REFER TO NOTE)

26.0

NOTE: THE DEVELOPER IS RESPONSIBLE FOR THE RESTATEMENT OF ALL DAMAGES INCURRED TO ADJACENT PROPERTIES, PATHS AND ROADS AS A RESULT OF THE CONSTRUCTION WORK.

NUNAN CRES

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- 1 APR 2009

[Signature]

License No: 2004-25203

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WESTON DRAFTING PTY LTD
PO BOX 1769
CLIENT: MR W. KERK
GARAGE
ADDRESS: 8 NUNAN CRES
LOT 14 SECT 22
TUGGERAHONG ACT 2804
PH: (02) 6292 3355
FAX: (02) 6292 7712
SUDBURG DRILEY NSW
SAPPHIRE COAST DESIGN AND DRAFTING
SCALE: 1:200
DRAWING NUMBER: 1
DATE: 3/10/08
SHEET/ISSUE: 1/1

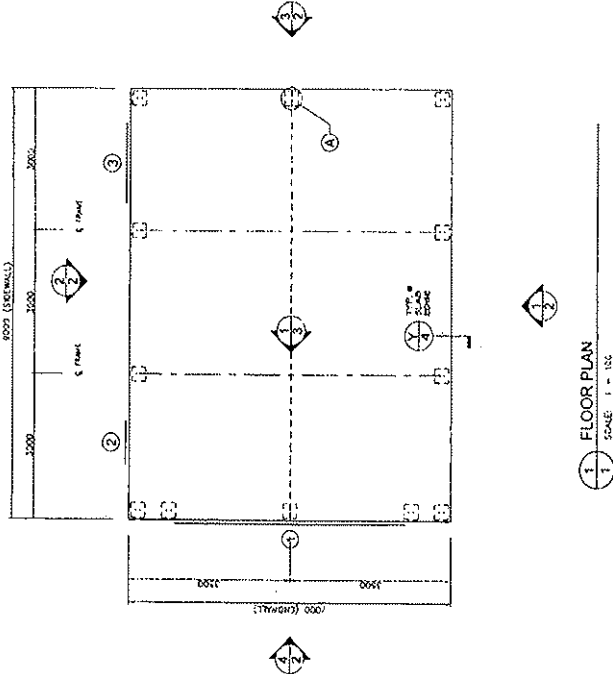
WESTON DRAFTING PTY LTD

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APPROVAL GRANTED
 PURSUANT TO SECTION 162
 Delegate name **RAY BROWN**
 Date **12/3/2009**



18 NUNAN CRESCENT
AS PER DA FORM

Registered Professional Engineer 349317
 Mr John Raymond Hart
 MCAust: CPEng - (Civil/Structural) NPER
 Signature: *JRH*
 Date: 12/03/2009
 Issued on the 12/03/2009 in the name of the State of New South Wales
 Certified Professional Engineer

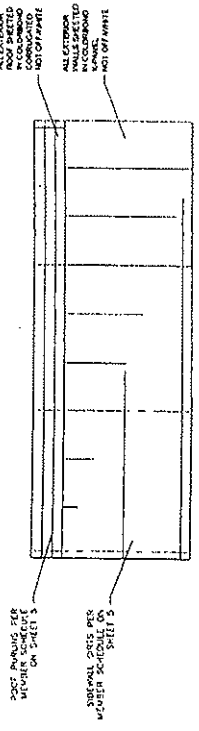
ACAME
 245 Princess Highway
 Rilton NSW 2538
 ABN 28 002 495 072
 Consulting Civil, Structural
 & Mechanical Engineers
 Registered Professional Engineer
 Registered Professional Engineer
 Registered Professional Engineer
 Registered Professional Engineer
 Registered Professional Engineer



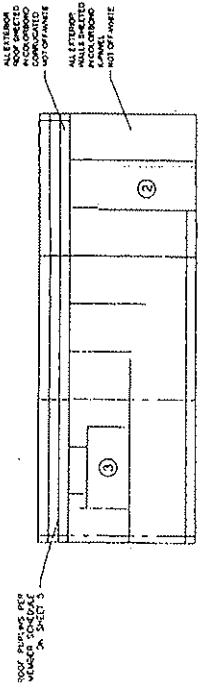
STEEL BUILDING BY **RICMATT BUILDING SYSTEMS**
 FOR **PHONE 06 2418544**
 AT **MR WIKORS WICKORS**
18 NUNAN CRESCENT
OXLEY

DRAWN	FDHS
CHECKED	JH
DATE	29/10/2008
JOB NO.	RICS16641
SHEET	1
OF	5

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1 SIDEWALL EXTERIOR ELEVATION
SCALE: 1 : 100

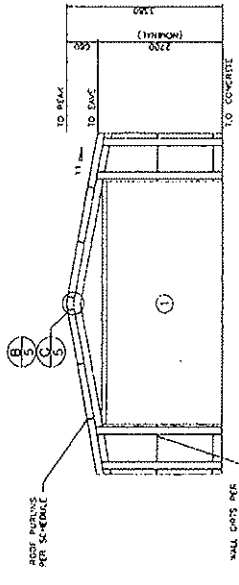


2 SIDEWALL EXTERIOR ELEVATION
SCALE: 1 : 100

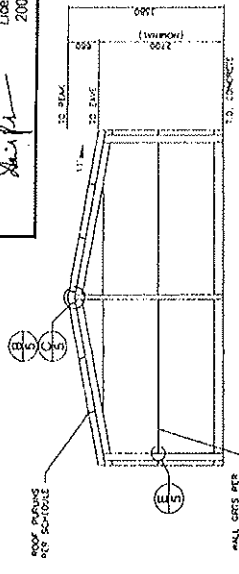
PLANNING AND DEVELOPMENT ACT 2007
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PURSUANT TO SECTION 162
Delegate name **RAY BROWN**
Date **12/3/2009**

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1 ENDWALL EXTERIOR ELEVATION
SCALE: 1 : 100



2 ENDWALL EXTERIOR ELEVATION
SCALE: 1 : 100

18 NUNAN CRESCENT
AS PER DA FORM

Figure Level 0. None required in this building.

STEEL BUILDING BY (CONTACT) **RICMATT BUILDING SYSTEMS**
FOR PHONE 06 2418544
AT **MR WINKERS**
8 NUNAN CRESCENT
OXLEY
14/3/09

ACAME 245-Princes Highway
Rilton NSW 2438
ABN 28 002 465 077
Consulting Civil, Structural & Mechanical Engineers
Registered Professional Engineer 349317
Mr John Raymond Hart
NCCast CEleg - (Civil/Structural) NFER
Registered Professional Engineer 2519/08
Registered Professional Engineer 2519/08
Registered Professional Engineer 2519/08
Registered Professional Engineer 2519/08

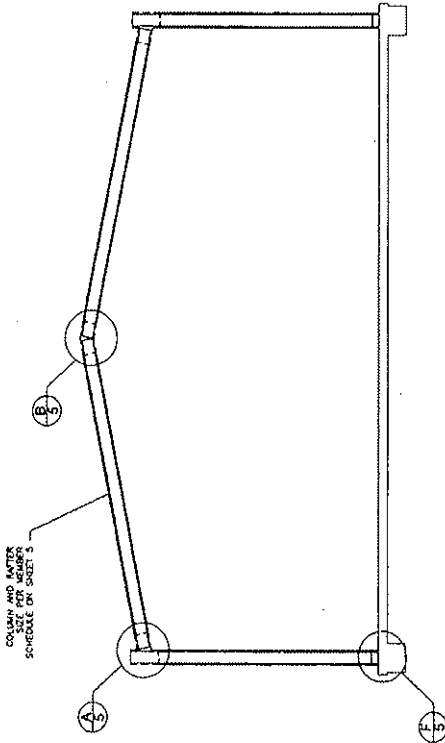
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DRAWN	FOHS
CHECKED	JH
DATE	29/10/2008
JOB NO.	RICS16841
SHEET	2 OF 2

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1 INTERNAL FRAME SECTION
 SCALE: 1 = 50

(Refer to Sheet #4 for concrete specification).

18 NUNAN CRESCENT
AS PER DA FORM

SHEET 3 OF 5	JOB NO. RICS16641	DATE 29/10/2008	CHECKED JH	DRAWN FDHS	STEEL BUILDING BY RICHMATT BUILDING SYSTEMS FOR MR WIKORS 8 NUNAN CRESCENT OXLEY	(CONTACT) PHONE 06 2418544 14/22		ACAME 245 Princess Highway Milton NSW 2538 ABN 28 002 495 371 Consulting Civil, Electrical & Mechanical Engineers www.acame.com.au Registered Professional Engineer 349317 Mr John Raymond Hart M2 Aust CPEng - (Civil/Structural) NPER Registered on the parts in the area of practice of Structural Engineering Date: 28/10/08 National Professional Engineers Register
	Registered Professional Engineer 349317 Mr John Raymond Hart M2 Aust CPEng - (Civil/Structural) NPER Registered on the parts in the area of practice of Structural Engineering Date: 28/10/08 National Professional Engineers Register							

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STRUCTURAL GENERAL NOTES

1. GOVERNANCE CODES: BUILDING CODE OF AUSTRALIA (BCA), LOADING TO AS1718 - ALL SECTIONS, BUILDING SUITABLE FOR ALL CLIMATIC CONDITIONS, INDIVIDUAL USE DULSIS CHEMICAL RESISTANT MORTAR.
2. THE CONTRACTOR SHALL VERIFY THE PRESENCE OF ALL SERVICES (ELECTRICITY, GAS, WATER, TELEPHONE, CABLE TV, etc.) PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK.
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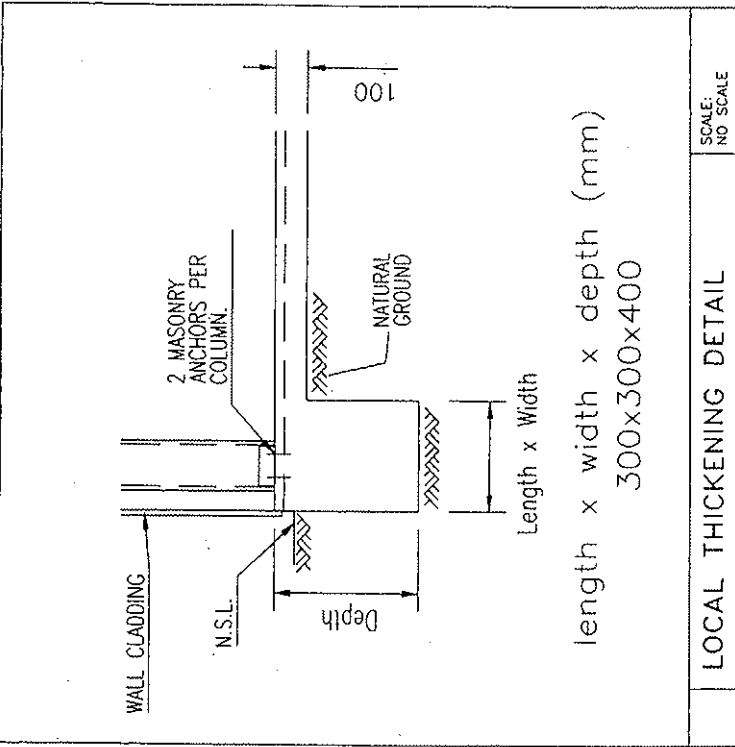
PROJECT DESIGN CRITERIA	
ROOF LIVE LOAD:	0.25 kPa
BASIC WIND SPEED:	VR 45 m/s
SITE WIND SPEED:	Vs: 41 m/s
WIND REGION:	Reg A
TOPOGRAPHY FACTOR:	k _t : 1
SHIELDING FACTOR:	k _s : 1
MAX GROUND SNOW LOAD:	NA
SITE ROOF SNOW LOAD:	NA
TERRAIN CATEGORY:	Toot: 2
SOIL SAFE BEARING CAPACITY:	100 kPa
RETURN PERIOD:	1:500
LIMITING CPI:	-0.3
IMPORTANCE LEVEL:	2

DETAIL KEYS	
(A)	CORNER VERTICAL BALCONY (SEE DETAIL C/S FOR TOP CORNER AND 1/3 FOR BASE CORNER)
(B)	FLYBRIDGE PER DETAIL L/3
(C)	X-BRACING IN ROOF ABOVE (SEE DETAIL W/S)

DOOR SCHEDULE						
DOOR	WIDTH	HEIGHT	OPENING TYPE	HEADER	TRACK	FINISH
①	5000	2500	1/2 IN	SHGL	SHGL	JAMB
②	800	2100	1/2 IN	SHGL	SHGL	JAMB
③	1715	900	WINDOW	SHGL	SHGL	JAMB

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 - 1 APR 2009
 Licence No. 200426203



18 NUNAN CRESCENT
 AS PER DA FORM

Registered Professional Engineer 349317
 Mr John Raymond Hart
 MCAust CPDing - Cka (General)
 APER
 Signature: J. R. Hart
 Registered in the State of Victoria
 Member Professional Engineers Institute

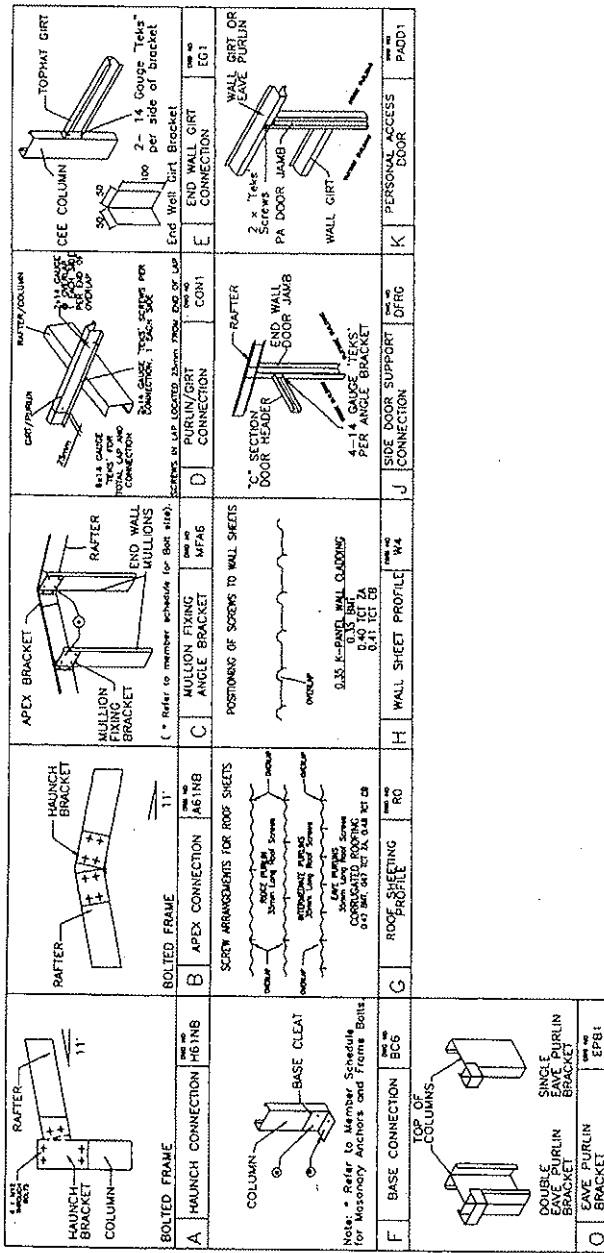
ACAME
 233 Princess Highway
 Auburn NSW 2158
 ABRN 28 802 494 077
 Consulting Civil, Structural
 & Mechanical Engineers
 www.acame.com.au

fair
 dinkum

STEEL BUILDING BY (CONTACT)
RICMATT BUILDING SYSTEMS
 PHONE 08 2418544
 MR VIKORS
 8 NUNAN CRESCENT
 OXLEY
 14/2/09

DRAWN	FOR	AT
FDHS		
CHECKED	JH	
DATE	28/10/2008	
JOB NO.	RICS16841	
SHEET	4 OF 5	

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MEMBER AND MATERIAL SCHEDULE	
1	CEILING RAFTER
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ACT Planning & Land Authority

BUILDING APPROVAL
 Issued under section 28 of the Building Act 2004
 Certified Building Solutions Pty Ltd
 - 1 APR 2009
 Licence No: 200426203

18 NUNAN CRESCENT AS PER DA FORM

STEEL BUILDING BY **RICMATT BUILDING SYSTEMS**
 FOR **MR MIKORS** AT **8 NUNAN CRESCENT**
 (CONTACT) PHONE 06 2418544
 14/11/08 OXLEY QLD

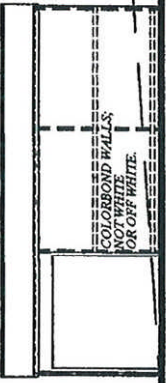
ACAME 245 Princess Highway
 Milton NSW 2538
 Consulting Civil, Structural & Mechanical Engineers
 Registered Professional Engineer 3483517
 Mr John Raymond Hart
 (Only Structure) NPER
 Signature: [Signature] Date: 29/10/08
 Application for the issue of practice of registration for the work of practice of a structural professional (Civil/Structural Engineer)

5
OF
5

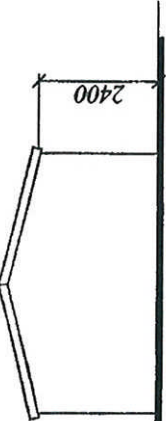
5

2/3

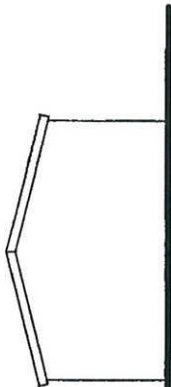
CUSTOMERS ROOF
COLORBOND, NOT WHITE
OR OFF WHITE.



SIDE ELEVATION EXISTING GROUND LINES



FRONT ELEVATION

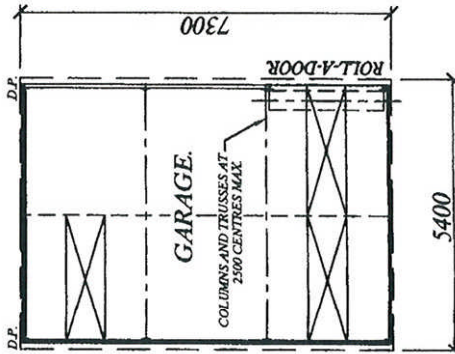


REAR ELEVATION

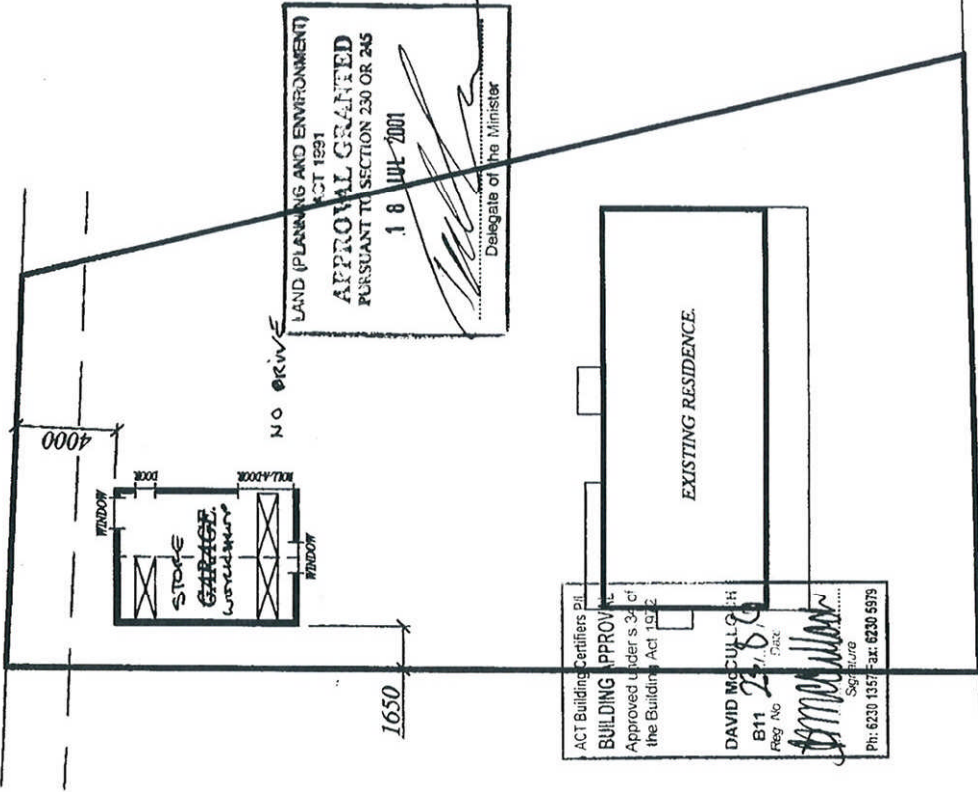
Plan No: **0.12.804/A**
 24 AUG 2001
 Received BEPCON
 URBAN SERVICES DEPT



NOTE:
 FOR ALL STRUCTURAL DETAILS
 SEE ENGINEERS SPECIFICATIONS.



PLAN



LAND (PLANNING AND ENVIRONMENT)
 ACT 1991
APPROVAL GRANTED
 PURSUANT TO SECTION 230 OR 245
 18 JUL 2001
 Delegate of the Minister

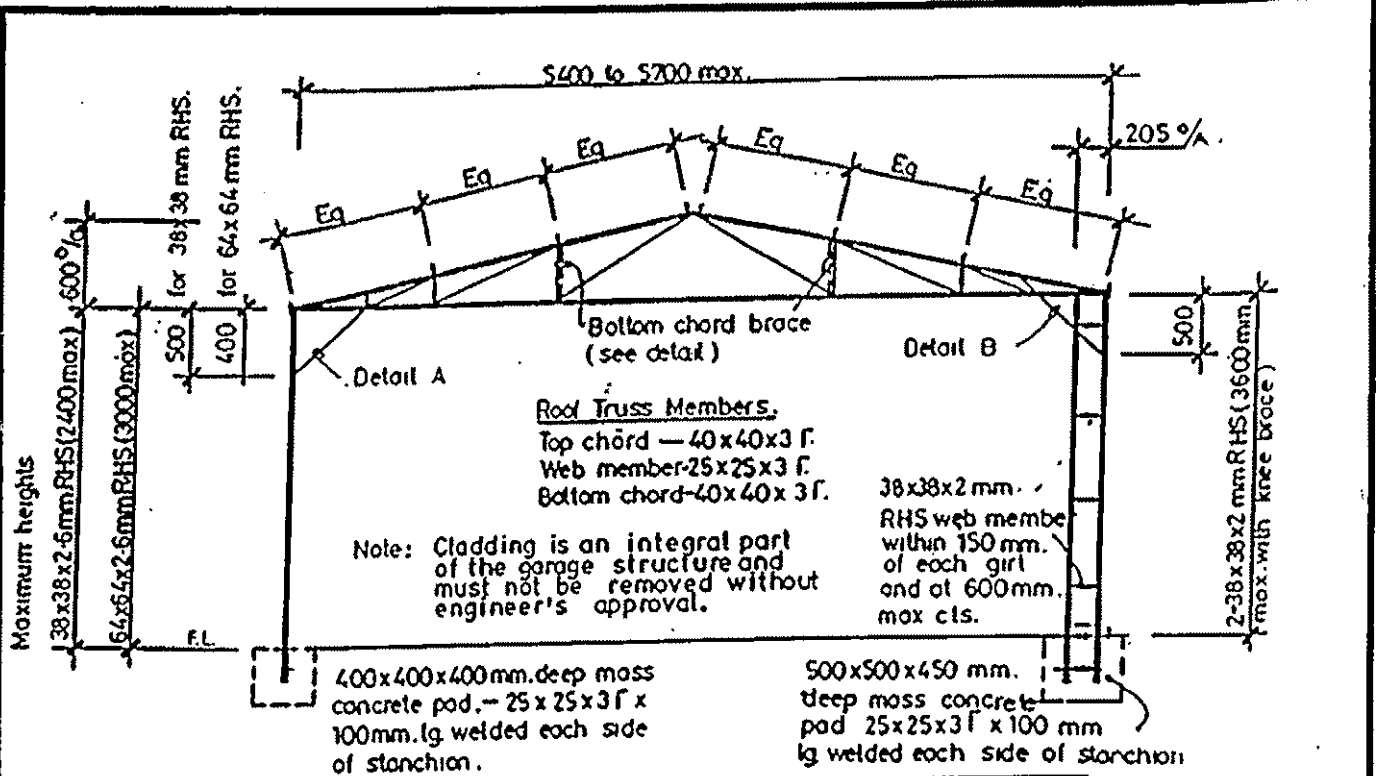
ACT Building Certifiers Pty.
BUILDING APPROVAL
 Approved under s 34 of
 the Building Act 1992
DAVID McCULLOUGH
 B11
 Reg No
 Ph: 6230 1357 Fax: 6230 5979

18 NUNAN ST.

GARAGE FOR:	K.N. & K.L. JERNEY		JOB AT:	BLOCK: 14
			UNIT:	SECTION: 22
			SUBURB:	OXLEY
			SCALE:	1:100 1:200
			DATE:	JULY 2001
			DRAWN:	G.T. BUCKLEY

Phone: (02) 62605966
 Fax: (02) 62391147
 www.w.r.engineering.com.au

W.R. ENGINEERING PTY. LTD.
 10-14 ISA ST Fyshwick.
 PO BOX 12 Fyshwick 2609.

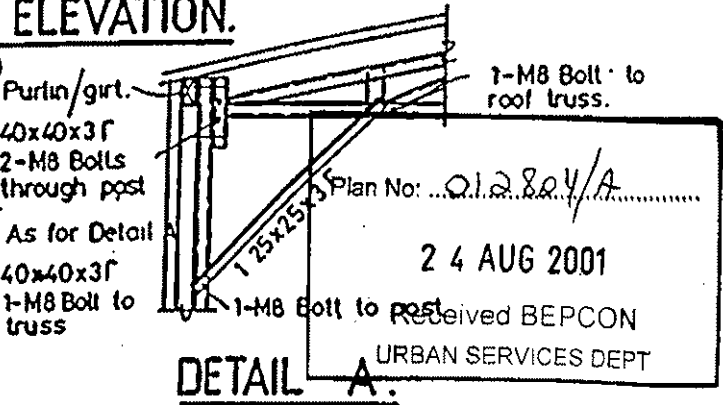
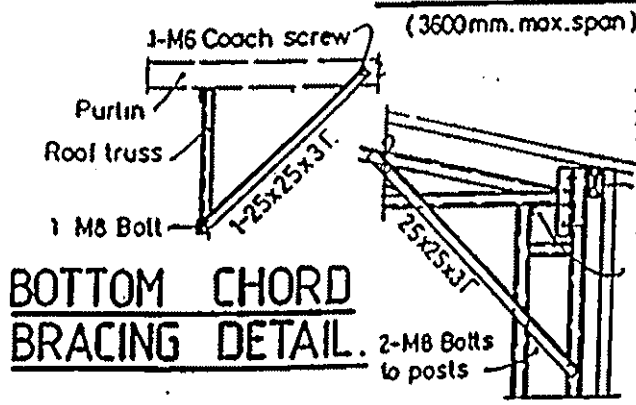
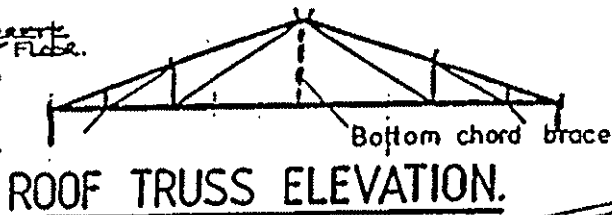


F11 H.W	100 x 50		75 x 50	
WALL	3000 SPAN	1200 CENTRE	2500 SPAN	1200 CENTRE
ROOF	3000 SPAN	900 ENDS	2500 SPAN	900 ENDS
		1200 INT CTRS		1200 INT CTRS
	SINGLE SPAN		CONT. OVER 2 OR MORE	

ALL FOOTINGS TO BE TAKEN DOWN INTO NATURAL GROUND.

NOTE - 3600 mm span truss. All members and details as for larger span roof trusses.

200x200x300 DEEP MASS CONG. PAD FOOTING
 ALTERNATIVE FOOTING WHERE CONCRETE FLOOR IS REQUIRED



Plan No: ...012824/A
 24 AUG 2001
 Received BEPCON
 URBAN SERVICES DEPT

Basic Wind Velocity 41 mts/sec.
 Terrain Category 3
 Design strength F_c for all fixings to be 20 MPa.

90/1 6971/A
 ACT Accreditation N°

DETAIL B

DETAILS FOR GABLE ROOF GARAGES.
 - 3600 mm. max. span.
 - 5400 to 5700 mm. max. span.

W. R. ENGINEERING PTY. LTD.
 12 Isa St P.O. Box 12
 Fyshwick Fyshwick 2609
 Ph: 6280 5988 Fax: 6239 1147

Ray Franzi
 MIEAust CPEng
 Chartered Professional Engineer
 Membership No. 280006
 The Institution of Engineers, Australia

W. R. Engineering
17/4/01
Ray Franzi 11/5/98
 RAY FRANZI PTY. LIMITED

DATE: 5/98
 DRG N° 9705261
 SCALE: 1:50 1:20

SI/2

TRANSPIRECT No. 65786
 23/11/2014
 Dupk, Trichiroo & Local Term...

APPROVED SUBJECT TO COMPLIANCE WITH THE CALIFORNIA SEWERAGE AND WATER SUPPLY REGULATIONS EXCEPT WHERE SUBJECT TO AND SUPERSEDED BY THE BUILDING MANUAL

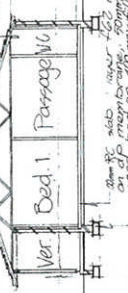


ELEVATIONS

fibrous cement

NOTHING TO BE SHOWN DOWN TO GROUND

UNITS SHOWN AS PER TRUSS MANUFACTURERS CHART



SECTION X-X

CONSTRUCTION MUST COMPLY WITH A.S. 1684-1978 CODE AND RELEVANT SUPPLEMENTS

PROVIDE FOR CONSTRUCTION BY THE HOLDER OF A C.A. 6168 'C' LICENCE. OUTHOLDING # DEC 5 1984 CITY BUILDING CONTROLLER

PROVIDE FOR CONSTRUCTION BY THE HOLDER OF A C.A. 6168 'C' LICENCE. OUTHOLDING # DEC 5 1984 CITY BUILDING CONTROLLER

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PROVIDE FOR CONSTRUCTION BY THE HOLDER OF A C.A. 6168 'C' LICENCE. OUTHOLDING # DEC 5 1984 CITY BUILDING CONTROLLER

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	23/11/2014
2	REVISIONS	
3	REVISIONS	
4	REVISIONS	
5	REVISIONS	
6	REVISIONS	
7	REVISIONS	
8	REVISIONS	
9	REVISIONS	
10	REVISIONS	

NOTES

TIMBER SCHEDULE
 1. SHARPMATA
 190X35 & 90X35 Top to L.B. Wall
 190X35 & 90X35 Wall
 190X35 Bottom fixed to slab

STUPE

1. SHARPMATA
 190X35 & 90X35 L.B. Wall
 190X35 & 90X35 Wall
 190X35 & 90X35 Wet area Wall

LINNEIS

AS PER TRUSS MANUFACTURERS CHARTS.

RESIDENCE TO BE SITED BY A REGISTERED SURVEYOR. DIMENSIONS TAKE PRECEDENCE OVER SCALING.

TERRAIN CLASSIFICATION CATEGORY 3

CONSTRUCTION MUST COMPLY WITH A.S. 1684-1978 CODE AND RELEVANT SUPPLEMENTS

FOOTING REINFORCEMENT

NO.	DESCRIPTION	NUMBER	BAR SIZE	SPACING
1	110 wide - 250X250	2	12mm	120mm
2	110 wide - 250X250	3	12mm	120mm
3	110 wide - 250X250	4	12mm	120mm
4	110 wide - 250X250	5	12mm	120mm
5	110 wide - 250X250	5	12mm	120mm

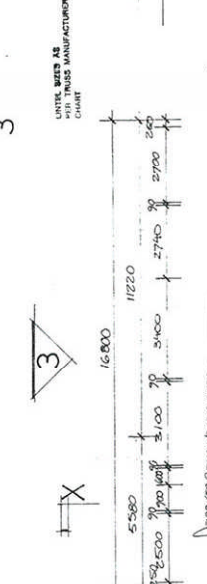
PROPOSED RESIDENCE FOR: DUNCAN HOMES

ON: 14 sec 22 sub OXLEY

AREA: 121.8 m²

RAFTING SERVICE POKE BENT

SCALE	DATE	DRAWN BY	CHECKED BY
1/4" = 1'-0"	7/11/04		



FLOOR PLAN

Scale - 1/200

SITE PLAN

LOCATION OF SITE TO BE SITED TO BE VERIFIED WITH DUNCAN HOMES COMMENCEMENT OF WORK TO BE VERIFIED WITH DUNCAN HOMES 20m easement barrier 20m sand bed on 100mm fill

SLAB PLAN

Scale - 1/200

PLANS AND SPECIFICATIONS EXAMINED AND RECOMMENDED FOR APPROVAL BY
 ENGINEER FOR WATER SUPPLY AND SEWERAGE
 1/19/14
 CHIEF ELECTRICAL ENGINEER
 1/19/14
 STRUCTURAL ENGINEER 1/19



Pest Controllers Combined Liability Certificate of Currency

The Policy below is current until 4.00pm on the expiry date shown below

INSURED: George Pudja T/as IBIS Integrated Building & Inspection Services

LICENSEE: George Pudja

BUSINESS DESCRIPTION: Timber Pest Inspections - Covered
Pre-Purchase House Pest Inspections - Covered
Building Inspections (Non Pest Related) - Covered
Compliance & EER Inspections & Reports - Covered
Home Owner's Warranty Insurance Inspections & Reports - Covered
Defects Inspections & Reports - Covered
General Building Maintenance - Covered

POLICY REFERENCE: 09 P000974 PLB

EXPIRY DATE: 2/7/2014

POLICY CLASS: Pest Controllers Combined Liability.

SUMS INSURED: **Section A: Broadform Liability**
Limit of Liability: \$5,000,000 any one claim, or loss, including defence costs, and in the aggregate in respect of all claims, or losses, including defence costs.

Section B: Professional Indemnity
Limit of Liability: \$1,000,000 any one claim, or loss, including defence costs, and in the aggregate in respect of all claims, or losses, including defence costs.

This Certificate of Currency is subject to the Policy Documentation to be read in conjunction with the Definitions, Conditions and Exclusions in the Pest Controllers Combined Liability Insurance Policy - QM792.

Signed
Narelle Pratt
Underwriter – Intermediary Distribution

Date 19/6/2013



I.B.I.S.

INTEGRATED BUILDING AND INSPECTION SERVICES

N

I.B.I.S. Integrated Building and Inspection Services
 Shop 6 City Arcade / 71 Monaro Street, Qbyn 2620
 P.O. Box 744, Queanbeyan NSW 2620
 Ph: 02 6299 5961, Fax: 02 6299 7207
 Email - ibisinspections@bigpond.com

TAX INVOICE

Bill To:

Anthony John VICKERS.
 86 Allchin Circuit, KAMBAH ACT 2902.
 Ph: 62966643 h 0412 809 590 m.
Pest & Building Inspection Report on;
 18 Nunan Crescent, Oxley ACT 2903.

Payment To:

Please make cheques payable to :
I.B.I.S
 ABN : 90 563 918 822

Invoice details :

Invoice #: 7061
 Date: 14 . 06 . 2013
 Inspection Date: 15 . 07 . 2013
 Customer ID: VICKERS 1

Your #	Our #	Terms	Tax ID
VICKERS 1	7061	PAYMENT AT TIME OF BOOKING	ABN : 90 563 918 822

Qty	Item	Units	Description	Dsc %	GST	Subtotal
3	Reports	\$ 350each	Pest, Building & Compliance	25 %	\$ 71.30	\$ 713.00
1	File Search	\$ 125.70	File Search & Copy of Relevant Documents	0 %	\$ 0.00	\$ 125.70
1	EER	\$ 285.00	House Energy Rating	100 %	\$ 0.00	\$ 000.00
		<i>Standard</i>	<i>Pest, Building & Com Refundable Amount</i>		<i>\$ 910.00</i>	

PAID IN FULL - Thank you.

Subtotal	\$ 838.70
GST	\$ 71.30
Bal Due	\$ 910.00
Credit Card	(Yes) No .
Surcharge 1.98%	\$ 18.02
New total	\$ 928.02

FOLD AND TEAR ALONG LINE AND RETURN REMITTANCE WITH PAYMENT

Remittance

Customer ID: VICKERS 1
 Statement #: 7061 - 18 Nunan Crescent, Oxley ACT 2903.
 Date: 21 . 06 . 2013
 IBIS ABN: 90 563 918822
 Amount Due: \$ 928.02
 Amount Enclosed: \$ 928.02
 Make all Cheques or bank deposits Payable to: I.B.I.S.

PAYMENT OPTIONS

- Direct deposit into account or via internet...
 Commonwealth Bank
 BSB 062913, Account No: 1016 3107.
 Then fax deposit receipt & this remittance
 to us on 02 6299 7207, as soon as you can.
- Cheque or Postal Money order to IBIS
- Cash Payment / EFTPOS in person
- **Credit Card Payment**
PLEASE NOTE - THERE IS A 2.7 % SURCHARGE ON AMEX
 AND 1.98 % ON MASTERCARD AND VISACARD.
 Please call the office on 02 6299 5961 for
 phone payment or fill in the details below and
 fax to the office on 02 6299 7207, ASAP.

PLEASE NOTE:

**YOU MUST TICK THE PAYMENT
 OPTION TAKEN & MAIL, FAX OR
 EMAIL PAYMENT RECEIPT & REMIT-
 TANCE TO US SO WE CAN VERIFY
 YOUR PAYMENT, OTHERWISE IT IS
 CONSIDERED UNPAID AND NO
 BOOKING OR INSPECTION WILL
 PROCEED.**

Tick a box

Card Number: _____

Expiry Date : ____ / ____ Signature: _____

Name on Card : _____

FirstRate Report

COA CCAS A 19457795

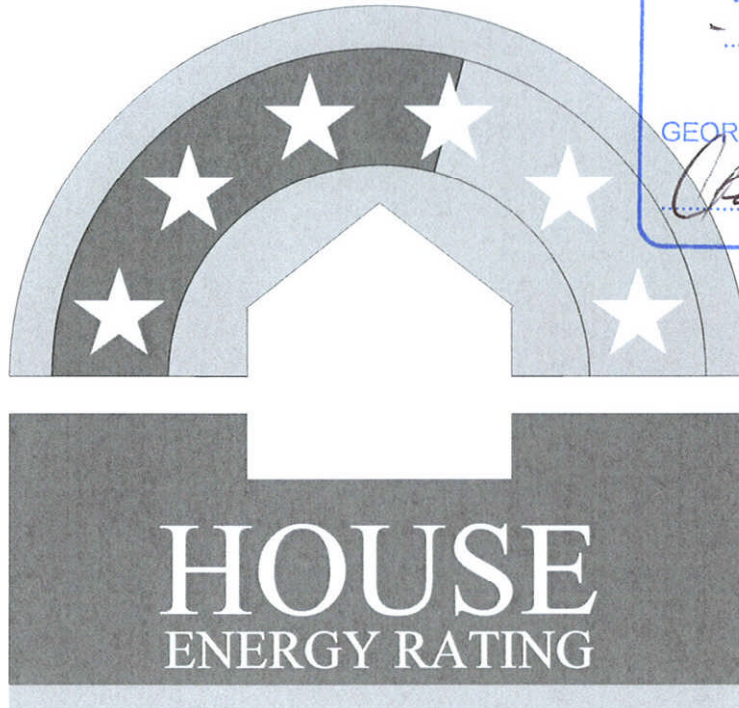
ACT HOUSE ENERGY
RATING SCHEME

-17 points 3.5 stars

22 JUL 2013

GEORGE PUDJA 04-0268

George Pudja
FirstRate Assessor



YOUR HOUSE ENERGY RATING IS: ★★☆☆☆ **3.5 STARS**
in Climate: 24 **SCORE: -17 POINTS**

Name: Anthony John VICKERS

Ref No: Inv: 7061

House Title: Section 22, Block 14, Oxley.

Date: 15-07-2013

Address: 18 Nunan Crescent,
Oxley, ACT.

2903

Reference: C:\PROGRAM FILES\FIRSTRATE 4.0\OX 022 014 0 00 00 000

Gross Floor Area 121.80m² House, 63.00m² Garage 1, 39.42m² Garage 2.

This rating only applies to the floor plan, construction details, orientation and climate as submitted and included in the attached Rating Summary. Changes to any of these could affect the rating.

Appliance Ratings

Heating: Unknown Heater / Unknown Rating

Cooling: Unknown Cooling / Unknown Rating

HotWater: Unknown Hot Water System / Unknown Rating

The appliance ratings above are based on information provided by the applicant and are included for information purposes only. They do not affect the House Energy Rating of the dwelling.

IMPROVING YOUR RATING

The table below shows the current rating of your house and its potential for improvement.

Star Rating	POOR			AVERAGE				GOOD				V. GOOD
	0 Star	★	★★	★★★	★★★★	★★★★★	★★★★★★	★★★★★★★	★★★★★★★★	★★★★★★★★★	★★★★★★★★★★	
Point Score	-71	-70	-46	-45	-26	-25	-11	-10	4	5	16	17
Current	-17	<input type="text"/>										
Potential	15	<input type="text"/>										

Incorporating these design options will add the additional points required to achieve the potential rating shown in the table. Each point represents about a 1% change in energy efficiency. This list is only a guide to the range of options that could be used.

Design options

Additional points

Change curtain to	Heavy Drapes & Pelmets	25
Seal External Doors		1
Seal Windows		1
Seal Internal Doors		2
Seal Gaps & Cracks		3

ORIENTATION

Orientation is one of the key factors which influences energy efficiency. This dwelling will achieve different scores and star ratings for different orientations.

Current Rating	-17	★★★★☆
-----------------------	-----	-------

Largest windows in the dwelling;

Direction : South West

Area : 16 m²

The table below shows the total score for the dwelling when these windows face the direction indicated.

Note that obstructions overshadowing windows have been removed from all windows in these ratings to allow better comparisons to be made between orientations.

ORIENTATION	POINT SCORE	STAR RATING
1. South West	-17	★★★★☆
2. West	-18	★★★
3. North West	-19	★★★
4. North	-13	★★★★☆
5. North East	-12	★★★★☆
6. East	-11	★★★★☆
7. South East	-13	★★★★☆
8. South	-11	★★★★☆

FirstRate Mode
Climate: 24

RATING SUMMARY for: Section 22, Block 14, Oxley., 18 Nunan Crescent,, Oxley, ACT.

Assessor's Name: George Pudja
 Net Conditioned Floor Area: 98.8 m²

Feature	Points		
	Winter	Summer	Total
CEILING	4	1	4
Surface Area: 0 Insulation: 4			
WALL	3	0	3
Surface Area: -2 Insulation: 4 Mass: 0			
FLOOR	7	0	7
Surface Area: 0 Insulation: -7 Mass: 15			
AIR LEAKAGE (Percentage of score shown for each element)	1	0	1
Fire Place 0 % Vented Skylights 0 %			
Fixed Vents 0 % Windows 32 %			
Exhaust Fans 0 % Doors 36 %			
Down Lights 0 % Gaps (around frames) 32 %			
DESIGN FEATURES	0	0	0
Cross Ventilation 0			
ROOF GLAZING	0	0	0
Winter Gain 0 Winter Loss 0			

WINDOWS							-37	-10	-47
Window Direction	Area		Point Scores				Total		
	m2	%NCFA	Winter* Loss	Winter Gain	Summer Gain				
NE	9	9%	-21	18	-3	-7			
SE	4	4%	-8	4	-1	-6			
SW	16	17%	-40	11	-5	-34			
NW	0	0%	0	0	0	0			
Total	29	29%	-70	33	-10	-47			

* Air movement over glazing can significantly increase winter heat losses. SEAV recommends heating/cooling duct outlets be positioned to avoid air movement across glass or use deflectors to direct air away from glass.

The contribution of heavyweight materials to the window score is 0 points

		Winter	Summer	Total
RATING	★ ★ ★ ☆	-23	-9	-17*
SCORE				

* includes 15 points from Area Adjustment

Detailed House Data

House Details

ClientName Anthony John VICKERS
HouseTitle Section 22, Block 14, Oxley.
StreetAddress 18 Nunan Crescent,
Suburb Oxley, ACT.
Postcode 2903
AssessorName George Pudja
FileCreated 15-07-2013

Climate Details

State
Town Canberra
Postcode 2600
Zone 24

Floor Details

<u>ID</u>	<u>Construction</u>	<u>Sub Floor</u>	<u>Upper</u>	<u>Shared</u>	<u>Foil</u>	<u>Carpet</u>	<u>Ins RValue</u>	<u>Area</u>
1	Concrete Slab on ground	No Subfloor	No	No	No	Carp	R0.0	32.8m ²
2	Concrete Slab on ground	No Subfloor	No	No	No	Tiles	R0.0	76.1m ²

Wall Details

<u>ID</u>	<u>Construction</u>	<u>Shared</u>	<u>Ins RValue</u>	<u>Length</u>	<u>Height</u>
1	Brick Veneer	No	R1.5	40.2m	2.4m

Ceiling Details

<u>ID</u>	<u>Construction</u>	<u>Shared</u>	<u>Foil</u>	<u>Ins RValue</u>	<u>Area</u>
1	Attic - Standard	No	No	R3.5	108.9m ²

Window Details

<u>ID</u>	<u>Dir</u>	<u>Height</u>	<u>Width</u>	<u>Utility</u>	<u>Glass</u>	<u>Frame</u>	<u>Curtain</u>	<u>Blind</u>	<u>Fixed & Adj Eave</u>	<u>Fixed Eave</u>	<u>Head to Eave</u>
1	NE	1.0m	1.5m	No	SG	ALSTD	VB	No	0.5m	0.5m	0.1m
2	NE	2.1m	1.8m	No	SG	ALSTD	NC	No	0.5m	0.5m	0.1m
3	NE	1.3m	1.5m	No	SG	ALSTD	VB	No	0.5m	0.5m	0.1m
4	NE	1.0m	0.6m	Yes	SG	ALSTD	VB	No	0.5m	0.5m	0.1m
5	NE	1.0m	0.9m	Yes	SG	ALSTD	VB	No	0.5m	0.5m	0.1m
6	NW	0.9m	0.4m	Yes	SG	TIMB	NC	No	1.4m	1.4m	0.1m
7	SW	2.0m	1.8m	No	SG	ALSTD	HD	Yes	1.8m	1.8m	0.1m
8	SW	2.0m	1.8m	No	SG	ALSTD	HD	Yes	1.8m	1.8m	0.1m
9	SW	2.0m	1.8m	No	SG	ALSTD	VB	Yes	1.8m	1.8m	0.1m
10	SW	2.0m	0.2m	No	SG	TIMB	NC	No	1.8m	1.8m	0.1m
11	SW	2.0m	2.6m	No	SG	ALSTD	HD	Yes	1.8m	1.8m	0.1m
12	SE	2.0m	1.8m	No	SG	ALSTD	HD	No	0.0m	0.0m	0.0m

Window Shading Details

<u>ID</u>	<u>Dir</u>	<u>Height</u>	<u>Width</u>	<u>Obst Height</u>	<u>Obst Dist</u>	<u>Obst Width</u>	<u>Obst Offset</u>	<u>LShape Left Fin</u>	<u>LShape Left Off</u>	<u>LShape Right Fin</u>	<u>LShape Right Off</u>
6	NW	0.9m	0.4m	3.0m	2.0m	10.0m	-5.0m	0.0m	0.0m	0.0m	0.0m

Sky Light Details

<u>ID</u>	<u>Dir</u>	<u>Tilt</u>	<u>Type</u>	<u>Shade</u>	<u>Utility</u>	<u>Width</u>	<u>Length</u>
1	NE	15 degrees	Single Opal	No	No	0.3m	0.3m

Zoning Details

Is there Cross Flow Ventilation ? Average

Air Leakage Details

Location	Suburban
Is there More than One Storey ?	No
Is the Entry open to the Living Area ?	Yes
Is the Entry Door Weather Stripped ?	Yes
Area of Heavyweight Mass	0m ²
Area of Lightweight Mass	0m ²

	<u>Sealed</u>	<u>UnSealed</u>
Chimneys	0	0
Vents	0	0
Fans	0	0
Downlights	0	0
Skylights	0	0
Utility Doors	0	3
External Doors	1	1
Unflued Gas Heaters		0
Percentage of Windows Sealed		0%
Windows - Average Gap		Small
External Doors - Average Gap		Small
Gaps & Cracks Sealed		No