

43 Glasgow Street Hughes

Report Prepared: 22 November 2013

Portfolio includes:

Property Report
Compliance Report
Timber Pest Report
Energy Rating
EER Fact Sheet
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p 6288 0402 f 6288 9516
35 Poynton Street Hughes ACT 2605
PO Box 3291 Weston ACT 2611
ABN: 97 381 180 850





IMPORTANT INFORMATION RELATING TO THIS REPORT



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It is important that you carefully read the complete report including the "Scope and Limitations" section before you make any critical decisions that may be influenced by this document.

Significant structural defects or maintenance items that have a substantial cost associated with repairs, or where in our opinion may have an influence on the decision to purchase the property, are documented in this report.

Where reference has been made in this report to cracking, settlement, movement or an opinion has been provided on structural integrity, it is important to note that we are not experts in this area and our advice is limited accordingly. If considered necessary, further advice should be obtained from a Structural Engineer before critical decisions are made. Any cracking reported should be monitored for further movement. Superficial or hairline cracks that we consider to have no immediate structural implications will not be identified.

Please refer to the Compliance Report to ensure that you identify any unapproved or non-compliant structures or alterations.

PROPERTY DETAILS

Inspection Date	22 November 2013
Our Reference	9079
Client	George Jerogin
Property	43 Glasgow Street, Hughes
Block Number	14
Section Number	3
Gross Living Area Sqm	Approximately 200.00
Weather Conditions	Fine

REPORT SUMMARY

IMPORTANT NOTE FOR THE READER

This report is intended to be read in its entirety. Please read the full document including detailed inspection information and the Scope & Limitations of Report before reaching any conclusions regarding the condition of the property. If there are any discrepancies between the "Report Summary" and the Detailed Report, the detailed report information should be relied upon.

Having completed a visual inspection and assessment of the dwelling on the subject property it is our opinion that:

- the dwelling is of adequate construction and structural workmanship for this type of residential development and its condition is commensurate with the era of construction, design, age and use
- there are no visible significant defects or evidence of structural defects that give cause for concern
- our inspection of the property and review of the building file provided by the Department of Environment & Sustainable Development revealed there are structures/alterations/additions that require building or development approval or are non-compliant, the details are noted in the Compliance Report

DESCRIPTION OF PROPERTY

Development Summary

- free standing dwelling
- one level
- four bedrooms
- one bathroom and one ensuite
- laundry room
- kitchen and meals area
- family room
- living room

Furniture

Where a property is furnished at the time of inspection, furnishings, floor coverings, window treatments and stored goods may be concealing some defects.

- the dwelling was furnished at the time of inspection

Roofing

- cut hardwood construction
- terracotta tile roof covering

Exterior Walls

- brick cavity construction

Flooring

- hardwood bearers and joists, pine tongue and groove flooring

Motor Vehicle Accommodation

- garage

Summary of Structures, Additions and Alterations noted on the Compliance Report

Document numbers are noted where applicable, please refer to the Compliance Report for full details.

- brick residence - 10537 & 10537/A
- brick additions to residence - 10537/B
- metal carport - 10537/C
- swimming pool - 10537/D
- fibreglass swimming pool - 10537/E
- brick additions to residence - 10537/F
- fireplace - 10537/G
- garden shed
- garden shelter
- pergola with roof
- open pergola
- rear retaining walls

PROPERTY ACCESS

Restricted access caused by stored goods, furnishings, window treatments, security devices, vegetation, duct work, confined spaces, insulation and other impediments will limit the scope of this inspection.

- interior - our inspection of the interior was restricted by;
 - furniture and stored goods in cupboards
- subfloor - access was restricted by;
 - low clearances
 - stored goods
- roof cavity - access was restricted by;
 - insulation covering the ceiling framing
 - low clearances

SCOPE OF OUR INSPECTION

This report is written with reference to Australian Standard AS 4349.0-2007 Inspection of Buildings (General requirements) and AS 4349.1-2007 Inspection of Buildings (Pre-purchase inspections - Residential Buildings) and is the result of a VISUAL INSPECTION ONLY – It is intended to be read as a whole.

The report is not designed to quantify features of the property; rather it is our role to conduct a thorough visual inspection and report only on areas of concern and identify critical defects or faults for an intending purchaser, insofar as a property inspector can reasonably identify those defects or faults.

When reading this report, the age of the building needs to be taken into consideration. Some items may not have been detailed, as they are considered a normal occurrence or general wear and tear for a building of this age. Electrical appliances and utilities such as water reticulation, electrical wiring or gas installations, swimming pool and spa equipment were not tested. Qualified technicians should be consulted in regard to these items. Generally, ongoing maintenance items, upgrading, cosmetic works and minor defects or faults will not be detailed.

The following extracts from the Australian Standard AS 4349.1-2007 should assist the reader to understand how we have approached the inspection and define the general focus of the report:

2.3.1 GENERAL The inspection shall comprise visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of inspection.

4.1 GENERAL It is necessary to inspect each of the areas and items set out in Section 3; however, it is not necessary to report on each one. An inspector may choose to report only on an 'exceptions basis', i.e., listing only defects, rather than also reporting items that are in acceptable condition.

PROPERTY REPORT

STANDARD INDICATORS

The Property Inspector uses the following terms when describing the standard of a building or a particular item being scrutinised. They are:

No Significant Defects have been Detected/Good

The feature or area subject to comment is, in the inspector's opinion, of sufficient standard to not require any significant remedial action. There may be minor imperfections in the finish or the structure.

Minor Defects have been Detected/Fair

The feature or area subject to comment is, in the inspector's opinion, usable but has deteriorated and would benefit from remedial or repair work. For instance, painting may be required, render may require patching, and door or window fittings may require adjustment or repair.

Defects have been Detected/Poor

The feature or area subject to comment, in the inspector's opinion, requires substantial remedial or repair work, or replacement. Faults are major and possibly structural. Repairs are considered necessary rather than discretionary.

All of the above terms are used having regard for the age, quality of workmanship, style and type of construction of the building being inspected. For example, the features and finishes considered "good" in a 50 year old building are not necessarily going to be so in a modern dwelling.

WHAT OUR INSPECTOR EXAMINES

To provide relevance and value for the reader, we have at the end of this report included a summary showing aspects that are considered during our inspection. We recommend that you read this information very carefully to gain perspective about the detail of our examination. Comment on many items will only be provided in the event of an adverse finding that may have an influence on any decisions relating to the value of the property. The inspector did not move or remove any ceilings, wall coverings, floor coverings, furnishings, equipment, appliances, pictures or other household goods. In an occupied property, furnishing or household items may be concealing defects.



FOR THE READER'S INFORMATION:

We are aware that many comments made throughout this report are repetitive. However, this is designed to inform the reader that the elements commented on have been inspected.

INTERIOR

Master Bedroom

Overall condition: minor defects have been identified

- ceilings and cornices - good
 - there is some minor movement cracking to the ceiling lining - this is a cosmetic matter and repairs required are minimal
- architraves and skirting boards - good
- walls - minor defects have been identified
 - there is some minor cracking in the rendered walls, however, they are not considered to be structurally significant
- doors and windows internal - good
- hardware, fixtures and fittings - good

South Bedroom

Overall condition: no significant defects have been identified

- ceilings and cornices - good
- architraves and skirting boards - good
- walls - good
- doors and windows internal - good
- hardware, fixtures and fittings - good

South East Bedroom

Overall condition: no significant defects have been identified

- ceilings and cornices - good
- architraves and skirting boards - good
- walls - good
- doors and windows internal - good
- hardware, fixtures and fittings - good

South West Bedroom

Overall condition: minor defects have been identified

- ceilings and cornices - good
- architraves and skirting boards - good
- walls - good
- doors and windows internal - good
 - the entrance door is binding with the frame - adjustment is required
- hardware, fixtures and fittings - good

Ensuite

Overall condition: no significant defects have been identified

- ceilings and cornices - good
- walls - good
- architraves and skirting boards - good
- doors and windows internal - good
- vanity/hand basin - good
- shower screen - good
- toilet suite - good
 - single flush acrylic cistern
- ventilation - good
 - ventilation is provided by a ceiling mounted exhaust fan
- water leakage -
 - no water leakage was detected
- wall tiles - good
- floor tiles - good
- fit-out - good

Bathroom

Overall condition: no significant defects have been identified

- ceilings and cornices - good
- architraves and skirting boards - good
- walls - good
- doors and windows internal - good
- vanity/hand basin - good
- shower screen - good
- bath - good
 - the bath has marks and signs of wear which are generally commensurate with the age of the bath
- ventilation - good
 - ventilation is provided by a ceiling mounted exhaust fan
- water leakage -
 - no water leakage was detected
- wall tiles - good
- floor tiles - good
- fit-out - good

Toilet

Overall condition: minor defects have been identified

- ceilings and cornices - please see comments below
 - there is evidence that there has been water leakage around the sewerage vent pipe. At the time of inspection there was no evidence of any leakage and the staining is of a cosmetic nature
- walls - good
- doors and windows internal - good
- architraves and skirting boards - good
- toilet suite - fair
 - single flush acrylic cistern
 - the plastic toilet cistern has deteriorated, however, it is still functional. Replacement may be a consideration
 - water flow from the cistern into the toilet appears not to be cutting off. The cistern inlet and or outlet seals may need to be replaced
- water leakage -
 - no water leakage was detected
- ventilation - fair
 - there is no mechanical ventilation
- wall tiles - good
- floor tiles - good
- hardware, fixtures and fittings - good

Laundry

Overall condition: no significant defects have been identified

- ceilings and cornices - good
- architraves and skirting boards - good
- walls - good
- doors and windows internal - good
- laundry tub - good
- water leakage -
 - no water leakage was detected
- wall tiles - good
- floor tiles - good
- fit-out - good
- hardware, fixtures and fittings - good

Kitchen and Meals Area

Overall condition: no significant defects have been identified

- ceilings and cornices - good
- architraves and skirting boards - good
- walls - good
- wall tiles/splash-back - good
- doors and windows internal - good
- ventilation - good
 - ventilation is provided by an externally ducted range hood
- kitchen fit-out - good
- hardware, fixtures and fittings - good

Family Room

Overall condition: no significant defects have been identified

- ceilings and cornices - good
- architraves and skirting boards - good
- walls - good
- doors and windows internal - good
- hardware, fixtures and fittings - good

Dining Room

Overall condition: no significant defects have been identified

- ceilings and cornices - good
- architraves and skirting boards - good
- walls - good
- doors and windows internal - good
- hardware, fixtures and fittings - good

Living Room

Overall condition: no significant defects have been identified

- ceilings and cornices - good
- architraves and skirting boards - good
- walls - good
- doors and windows internal - good
- hardware, fixtures and fittings - good

Hallway

Overall condition: no significant defects have been identified

- ceilings and cornices - good
- architraves and skirting boards - good
- walls - good
- hardware, fixtures and fittings - good
- doors and windows internal - good

Roof Cavity

Overall condition: no significant defects have been identified

- insulation -
 - the roof cavity is insulated with fibreglass batts and loose fill insulation
- sarking -
 - no sarking has been installed in the roof cavity
- roof construction -
 - cut hardwood construction

EXTERIOR

Roof Covering

Overall condition: no significant defects have been identified

- terracotta tile roof covering

Gutters and Downpipes

Overall condition: no significant defects have been identified

- our inspection indicates that the gutters and downpipes are in functional condition however, it should be noted that gutters and downpipes will have a limited lifecycle. Gutters that are draining correctly and have been well maintained would be expected to last up to 30 years and in many cases longer

Roof drainage is not tested during our inspection therefore it is not possible to determine the effectiveness of the roof drainage system under all conditions.

Eaves, Fascia and Barge Ends

Overall condition: no significant defects have been identified

Wall Construction Exterior

Overall condition: no significant defects have been identified

- brick cavity construction
- our inspection did not identify any cracks in the exterior masonry that were considered to be structurally significant at the time of inspection. Cracking of masonry walls is very common, particularly with this regions volatile clay soils. Any cracks that were considered to have no structural implications at the time of inspection have not been individually identified

Doors and Windows External

Overall condition: no significant defects have been identified

Floor Construction

Overall condition: no significant defects have been identified

- hardwood bearers and joists, pine tongue and groove flooring

Sub Floor

Overall condition: no significant defects have been identified

- the sub-floor was generally dry at the time of our inspection
- sub-floor ventilation is considered to be adequate

Driveway

Overall condition: please see comments below

- the condition of the driveway paving is commensurate with the age of the development, typically over time the paving will develop cracks and undulations often as a result of tree root intrusion or the subsidence of the sub soil. Mostly the deterioration is significant from a cosmetic perspective, vehicle access is generally acceptable

Paths and Paving

Overall condition: please see comments below

- the condition of the paving is commensurate with the age of the development, typically over time the paving will develop cracks and undulations often as a result of tree root intrusion or the subsidence of the sub soil

Steps and Stairs External

Overall condition: no significant defects have been identified

Retaining Walls

Overall condition: defects have been identified

- there are some cracks and loose masonry in the retaining walls

Balustrades and Handrails

Overall condition: no significant defects have been identified

- hand rails/balustrades are not built to regulation height in accordance with the current Building Code. Due to the age of the construction this is not a requirement. However, in the interests of safety it should be noted that regulation height balustrades and railings provide for a higher level of safety, particularly where the safety of children is concerned

Swimming Pool

- the swimming pool, filtration equipment and safety fencing are not included in this inspection. To obtain specific information relative to these items it will be necessary to commission an inspection by a suitably qualified technician. Safety fencing, gates and other aspects of swimming pool safety are not included in this report. Safety requirements are not related to the specifications contained in the current Building Code of Australia. In the interests of safety we direct you to a publication by ACT Planning relating to pool and spa safety. Please go to our web site at www.residentialreports.com.au then click on our Resource Library icon and select the Swimming Pool and Spa Safety document

Fences and Gates

Overall condition: defects have been identified

- some fencing is new, other areas are in significant disrepair and need to be replaced
- evidence of wood decay (rot) damage was sighted
 - timber fences are in poor condition in some areas - they have significant wood decay (rot)

Where the fence line is obscured by foliage, overgrowth and structures, evidence of timber pest activity or damage may be concealed.

Garage

Overall condition: no significant defects have been identified

- description -
 - the garage is under the roof line
- wall construction exterior - good
 - brick construction
- floor construction - good
 - concrete slab construction
- doors - good
 - two roller doors have been fitted

Carport (Now Garden Shed)

Overall condition: defects have been identified

- roof covering - good
- structural integrity - good
- decking timbers - poor
 - the decking floor is in a deteriorated condition

Deck

Overall condition: defects have been identified

- decking timbers – poor
 - there is deterioration in the decking timbers from wood decay
- structural integrity - please see comments below
 - we are of the opinion that the deck is able to withstand normal weight loadings. However, we recommend that weight loads beyond normal use be avoided. Structural failure under excessive loads may result in serious injury. The deck structure should be regularly monitored to ensure that it remains structurally sound.

Open Pergola

Overall condition: defects have been identified

- pergola timbers – poor
 - there is significant deterioration in the pergola timbers from wood decay
- structural integrity - fair

Roofed Pergola

Overall condition: no significant defects have been identified

- pergola roof - good
- pergola timbers - good
- structural integrity - good

Patio

Overall condition: no significant defects have been identified

- balustrades and handrails - no significant defects have been identified
 - hand rails/balustrades are not built to regulation height in accordance with the current building code. due to the age of the construction this is not a requirement. however, in the interests of safety it should be noted that regulation height balustrades and railings provide for a higher level of safety, particularly where the a safety of children is concerned
- balcony drainage - good

COMPLIANCE REPORT

A Residential Conveyancing File from Environment and Sustainable Development (ESDD) has been obtained to complete this Compliance Report. Documentation in this file may include: floor plans, site elevations, certificates of occupancy, file index, survey reports and drainage plans.

This report has been based on a thorough examination of the building file documents and a thorough visual inspection by our Company of this property. The report deals with matters of compliance from the plans and documentation provided by ESDD. Please note that where the detail on plans supplied by the ESDD has been compromised or is illegible, Residential Reports will not accept any liability for omissions or errors in our report. **PLEASE READ THE BUILDING FILES NOTATION** - in our Scope & Limitations Section.

DEVELOPMENT APPROVAL

If this report reveals structures or alterations that require Development Approval please note that approval may have been granted, however, documentation is not provided in the building file. The Environment and Sustainable Development Department or the owner may have further information.

UNAPPROVED STRUCTURES AND ALTERATIONS

If you are considering obtaining approval for any unapproved structures or alterations you will need to consult a Building Certifier. We recommend that you;

- Refer to our Resource Library at www.residentialreports.com.au
- Click on the link "Building Approvals" and consult a registered Certifier

Please note that Residential Reports Inspectors are not licensed Building Certifiers and accordingly cannot assist with Development Approval or the certification of unapproved structures and alterations.

Plan No. (if applicable)	Description	Date of Certificate of Occupancy	Approved	Comments
10537 & 10537/A	brick residence	3/03/1966	yes	front and side retaining walls noted on plan
10537/B	brick additions to residence	3/02/1970	yes	
10537/C	metal carport	3/01/1973	yes	
10537/D	swimming pool		see comment	there are approved plans, however, there is no Certificate of Occupancy on file approved on plan 15037/E
10537/E	fibreglass swimming pool	10/11/1977	yes	
10537/F	brick additions to residence	14/09/1980	yes	
10537/G	fireplace	15/07/1985	yes	

Plan No. (if applicable)	Description	Date of Certificate of Occupancy	Approved	Comments
	garden shed		see comment	approval is not required
	garden shelter		see comment	approval is not required
	pergola with roof		no	approval is required
	open pergola		see comments	approval is not required
	rear retaining walls		see comment	approval is not required

Survey Reports	Date	Comments
Courtenay & Barrett	21/12/1965	the surveyor's report indicates that there are no encroachments onto this property nor by this property onto adjoining properties
P R Simms	10/10/1969	the surveyor's report indicates that there are no encroachments onto this property nor by this property onto adjoining properties

TIMBER PEST REPORT

This report is the result of a **VISUAL INSPECTION ONLY**. Inspection of the subject property and this report has been completed with reference to AUSTRALIAN STANDARD AS 4349.3 - 2010 Inspection of buildings Part 3: Timber Pest Inspections. The report is intended to be read as a whole, please read our detailed inspection information and the 'Scope & Limitations of Report' section, which includes a number of important disclaimers.

IMPORTANT NOTE - It is recommended that a full pest inspection be under-taken every 6-12 months. Regular inspections **DO NOT** prevent timber pest attack, they are designed to limit the amount of damage that may occur through early detection.

AREAS INSPECTED

Where applicable and where there is reasonable access, the following areas are examined during our Timber Pest inspection:

- Interior and exterior of structures
- Roof cavity
- Garage or carport
- Subfloor
- Retaining walls and garden borders
- Garden and storage sheds
- Structures, fences and trees within 30m of the building within the boundaries of the property
- Pergolas and decks

Access

Restricted access caused by stored goods, furnishings, window treatments, security devices, vegetation, duct work, confined spaces, insulation and other impediments will limit the scope of this inspection.

Please refer to **ACCESS INFORMATION** relating to this property at the beginning of the report

Furniture

- the dwelling was furnished at the time of inspection

Where a property is furnished at the time of inspection, you will appreciate that the furnishings, floor coverings and stored goods may be concealing any evidence of Timber Pest Activity.

REPORT ON AREAS INSPECTED

Our visual inspection is undertaken to identify the following timber pests:

- Subterranean termite activity or damage
- Borer activity
- Wood decay (rot) fungi damage

For more information on timber pests please refer to the fact sheet at the end of this report.

IMPORTANT PLEASE NOTE

In ALL instances throughout this report the inspector is referring to accessible areas only. Areas that were not accessible at the time of inspection or were concealed from view are not covered by this report and inspection. No guarantee is given or implied that those areas are free of timber pest activity.

Dwelling

- our visual inspection did not detect any timber pest activity

Roof Cavity

- our visual inspection did not detect any timber pest activity

Sub-Floor

- our visual inspection did not detect any timber pest activity

Garage/Carport

- our visual inspection did not detect any timber pest activity

Fence line

- evidence of wood decay (rot) damage was sighted
 - timber fences are in poor condition in some areas - they have significant wood decay (rot)

Where the fence line is obscured by foliage, overgrowth and structures, evidence of timber pest activity or damage may be concealed.

Grounds, Retaining Walls, Garden Borders, Pergolas and Decks

- evidence of wood decay (rot) fungi was damage sighted
 - there is deterioration in the decking timbers from wood decay,
 - there is significant deterioration in the pergola timbers from wood decay

Outbuildings (garden sheds etc)

- our visual inspection did not detect any timber pest activity

ENVIRONMENTAL CONDITIONS & SUMMARY

Sub Floor Drainage

- we are not plumbers, however, it is our opinion that sub floor drainage is generally adequate

Poor subfloor drainage increases the likelihood of termite attack. If drainage is considered inadequate, a plumber or other building expert should be consulted.

Sub Floor Ventilation

- our inspection indicates that subfloor ventilation is generally adequate

Ventilation of the sub-floor region is important in minimising the opportunity for subterranean termites to establish themselves. If the ventilation is found to be inadequate, remedial measures should be taken. Consideration should be given to installing high air flow vents and/or improve the cross flow of air within the subfloor, so as to produce ventilation equivalent to 8400 sq mm net ventilation area per lineal metre on external and internal walls.

Evidence of Recent Termite Treatment

- we found no evidence of any recent termite treatment

A note present in the metre box would indicate the property has been treated in respect of attack by subterranean termites or has a preventative treatment system.

Subterranean Termite Treatment Recommendation

- at the time of the inspection a treatment in accordance with Australian Standard 3660.1 to control or prevent subterranean termites from infesting and causing damage to the property was not considered necessary

Overall Susceptibility of the Building to Timber Pest Infestation

- **considering all of the relevant factors, it is our opinion that the overall degree of risk of timber pest infestation to the property is MODERATE to HIGH - we strongly recommend that regular inspections are undertaken**

IMPORTANT PLEASE NOTE

The overall degree of risk of Timber Pest Infestation is a subjective assessment by the inspector at the time of the inspection, taking into account many factors which include, but are in no way limited to, location and proximity to bushland and trees and/or other timber structures, evidence of timber pest damage or activity close to the inspected structure or within the inspected structure, conducive conditions that raise the potential of timber pest attack, such as timbers in contact with soil, inaccessible areas, slab on ground construction etc, or other factors that, in the inspector's opinion, raise the risk of future timber pest attack.

It should be noted that if the risk factor is considered to be high, this is not meant to deter a purchaser from purchasing the property; it is simply to make them aware that increased vigilance is warranted and any recommendations regarding reducing conducive conditions or frequency of inspections should be observed.

With reference to the degree of pest infestation noted above, it is recommended that pest inspections be completed by a qualified pest inspection every six to twelve months.

What the Inspector Examines to Prepare a Property Report

To provide relevance and value for our readers, the following pages show (but do not limit) aspects of the property that may be examined, where visual inspection is possible. These items have been extracted from the Australian Standard AS4349.1—2007 Inspection of buildings (Pre-purchase inspections - Residential buildings) and are considered as the inspector reviews each room or area. In most circumstances comment on a particular area or item may only be provided in the event of an adverse finding considered to be worthy of mention.



WALL CONSTRUCTION

- bulging
- dampness/water damage
- distortion (significant)
- nail popping
- cracking
- defective lining
- defective or damaged plaster/render

Settlement cracks, if present, need to be monitored over a period of time to determine if an ongoing structural problem exists. If any reference has been made in this report to cracking, settlement and/or movement, it should be noted that we are not experts in this area and further advice should be obtained from a Structural Engineer.

FLOORS, COVERINGS & FINISHES

Timber Floor Construction

- springy boards/sheeting
- out of level
- squeaky boards/sheeting
- undulations
- timber decay (rot)
- dampness/water damage

Concrete Floor Construction

- cracking
- out of level
- dampness/water damage

Hard Flooring

- wear
- loose or drummy units
- stains and marks
- dampness/water damage
- cracking

INTERNAL & EXTERNAL DOORS & DOOR FRAMES

- binding doors
- loose/badly fitting doors
- defective hardware
- damage
- rotting/corroded frames

TIMBER & METAL WINDOWS

- putty/glazing sealant
- sills
- fittings/hardware
- broken glass
- damage
- rotting frames (timber)
- rotting frames, corrosion (metal)

In most cases access to windows is restricted by window treatments, furniture or security locks. Older style timber windows can sometimes bind with the frame generally due to paint build up. This is viewed as a general maintenance issue. Sash windows sometimes require maintenance to the window balance mechanism or sash cords. We are not able to guarantee that windows will operate smoothly. Sometimes window runners, sashes and balance mechanisms will require maintenance or replacement.

PAINTWORK

The condition of painted surfaces is often a subjective matter. Areas that appear to be acceptable when furnished may not always be considered so when devoid of obstructions. Paint work is normally not considered in Property Inspections and Reports. **The opinions provided here are of a general nature only, given that there can be significant differences in the condition of painted surfaces in each area of the property. The reader of this report is urged to conduct their own detailed inspection before reaching a conclusion regarding the acceptability of painted surfaces.**

To prevent wood decay of timber surfaces and deterioration of metal components, the condition of these surfaces should be monitored and repainting carried out regularly. Corrosion of any metal roof sheeting should be repaired, treated and painted to avoid water leakages. Painted surfaces can mask areas where timber has deteriorated. Our visual inspection may not detect instances where this has occurred.

WET AREAS

If a wet area was not in service prior to and or at the time of inspection and no elevated moisture readings were recorded, or there was no visible evidence of water leakage, then it is entirely possible that an existing water leak will remain undetected.

- floor grade
- taps, basins, tubs
- drummy tiles
- sealants
- vanity
- fixtures and fittings
- floor waste
- leakage
- cracked/missing tiles
- shower leakage
- ventilation
- cistern/pan
- water hammer
- grout defects
- broken/cracked screen glass
- mirrors

WATERPROOFING

Australian Standard AS 3740-2004 - Waterproofing of Wet Areas

A VISUAL INSPECTION OF THE AREA CANNOT PROVIDE CONCLUSIVE EVIDENCE THAT THE AREA IS WATERPROOF. Compliance with Australian Standard AS 370-2004 is critical to meeting waterproofing requirements.

Should conclusive evidence be required regarding the integrity of waterproofing of wet areas, in particular shower areas, we recommend that a qualified technician be engaged to complete a comprehensive test to include:

1. *Capping the shower rose and leaving the water reticulation system under pressure and then checking for evidence of water leakage around tap spindles etc. (the sound of escaping air when the shower rose cap is removed indicates a water tight system). The technician may be engaged to complete a comprehensive pressure test of the entire water reticulation system.*
2. *Plugging the floor drain of the shower cubicle(s) and filling the base with water to the maximum level. Allowing the water to remain in the base for an extended period and checking that the level has not dropped. If the water has diminished it is most likely that the waterproofing system has failed. In this event, extensive repairs to correct the problem are often the outcome.*

KITCHEN

- bench tops
- taps
- drummy tiles
- sealants
- cupboards
- leakage
- cracked/missing tiles
- ventilation
- doors & drawers
- sink
- grout defects
- excessive water hammer

This report does not cover any matters relating to the operation of electrical or gas appliances. Any comments made in this regard are from a general observation only.

INTERNAL & EXTERNAL STAIRCASES

- stringers
- newel posts
- handrails
- treads (goings)
- balustrades
- risers

INTERNAL ROOF SPACE

- framing
- party walls (if applicable)
- insulation
- sarking

Sarking is a foil insulation/vapour barrier. Used in conjunction with bulk insulation, sarking provides an ideal insulation system for the control of heat and condensation. Sarking can only be installed during construction.

EXTERNAL ROOF COVERING, FASCIAS, GUTTERS & DOWNPIPES

- tiles/slates
- skylights
- valleys
- fascia boards
- sheet roofing
- vents
- guttering
- barge ends
- flashing
- flues
- downpipes
- eaves

It is important to note that a visual inspection of the roof covering may not identify roof leakages. We do not guarantee that the roof will not leak in all weather conditions.

Repainting of timber can mask the existence of timber rot. We cannot guarantee that all timbers are sound. A visual inspection may not, in some circumstances, detect roofing timbers affected by rot.

Roof drainage and the stormwater system are not tested at the inspection. Blocked or non-existent stormwater drains are sometimes accountable for problems relating to roof drainage.

EXTERNAL WALLS & NON STRUCTURAL REINING WALLS

- bricks
- cracking/movement
- weep holes
- decay
- mortar
- dampness
- joint sealants
- render
- visible flashing
- perpend

Settlement cracks, if present, need to be monitored over a period of time to determine if an ongoing structural problem exists. If any reference has been made in this report to cracking, settlement and or movement, it should be noted that we are not experts in this area and further advice, if considered necessary, should be obtained from a Structural Engineer.

PATHS, PAVING & DRIVEWAY

- cracking
- sinking
- movement
- alignment
- uplifting
- root penetration

FENCES & GATES

- palings/panels
- sagging
- rails
- timber decay (rot)
- posts

SUB FLOOR

Timber Floor Construction

- bearers & joists
- dampness
- cracked or leaking pipes
- framing
- drainage
- debris
- piers/stumps
- ventilation

Suspended Concrete Floor Construction

- concrete condition
- debris
- cracked or leaking pipes
- cracking
- drainage
- dampness
- ventilation

If moisture is noted, it is recommended that the sub-floor area be monitored to ensure that surface and sub-surface moisture ingress is not an ongoing issue. If the area remains damp, consideration should be given to upgrading subterranean and surface drainage systems to ensure that moisture is directed away from the building foundations and the sub-floor area is kept dry. A qualified drainage expert should be consulted with regard to drainage issues.

Many serious foundation problems are caused by reactive soil types and trees and gardens being planted too close to the building. Generally, clay soils which are common in the ACT, are reactive soils. Large trees use vast amounts of water and can quickly draw moisture out of the ground during dry periods, this results in destabilised moisture content of the soils around the building and ultimately may cause a foundation problem.

Over watering gardens close to the building may have the opposite effect, especially with clay soil. Over watering increases the moisture content of the soil which can result in "heaving" of the foundations adjacent to the garden. When watering close to the building you should avoid 'pooling' of water in a particular area, as this also affects the moisture content of the soil which in turn can cause damage to footings and foundations. Too much or too little water near the perimeter of the building may cause serious problems with foundations and footings. Damage to foundation footings can cause major structural problems, resulting in costly repairs.

HINTS FOR AVOIDING PROBLEMS AND COSTLY REPAIRS:

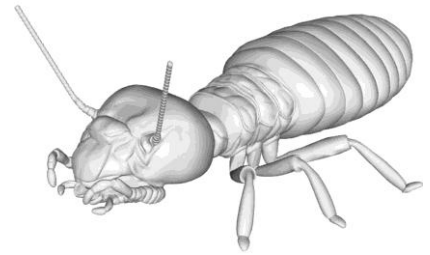
- Water evenly close to the building and do not over water
- Ensure the ground is graded away from the walls of the building and that the property has adequate drainage
- Promptly repair broken downpipes, leaking taps, sewerage pipes and other water services
- Hot water system overflows should be directed away from the area immediately adjacent to the foundations and the services maintained to ensure excessive leakage does not occur
- Garden beds should not be located against the house

SPECIAL PURPOSE REPORTS

Improvements such as swimming pools and spas are subject to a Special Purpose Report and are not included in our inspection and reports. We recommend that a qualified technician be engaged to report on these items and to advise on current regulations relating to safety fencing and equipment.

Useful Timber Pest Information

Information regarding prevention of timber pest infestation is helpful to all property owners. Every year timber pests contribute significantly to property damage in Australia. If left unchecked, a susceptible home can be damaged beyond repair in a matter of months. Routine checks and maintenance can help to minimise risk. As there are no 100% effective detection procedures, it is strongly advised that a professional pest controller is engaged if there are any concerns or evidence regarding the presence of timber pests on your property, and that regular pest inspections are undertaken on all buildings.



Termites

Termites are amazing insects that have mastered cooperation, affording them extraordinary achievements. Building mud skyscrapers, hollowing enormous trees, moving huge amounts of soil and of course, eating your house are all accomplishments boasted by this fascinating creature. Termites (or white ants) can seriously damage the structure of a house or building, they are not selective creatures – every property is vulnerable! Termites feed on wood and serve a crucial function in our environment by converting dead trees into organic matter. They have the ability to bite off and process very small fragments of wood and can cause serious structural damage if wood is attacked in a building.

Under favourable conditions a termite colony of 60,000 workers can consume about a metre of two by four in as little as four months. In other circumstances, it can take as long as six years for termites to cause noticeable damage. Termite activity may remain undetected even after serious damage has occurred. This activity may have gone unnoticed because:

- Swarms have been ignored by the current owner of the property
- Termite activity may be ongoing, but be hidden behind concealed surfaces such as walls or stored goods
- Termite activity typically occurs beneath the surface of a visible wood beam and cannot be detected until the damage has occurred

It is impossible to undertake a visual inspection 'looking inside' walls or through wooden beams. Invasive techniques would need to be applied if there was concern about the presence of a termite colony.

Subterranean termites live in nests called colonies that may live as deep as 6 metres below the soil surface. Termites use mud tubes to travel in search of food sources. A mature colony takes approximately five years to mature and may include up to 200,000 workers.

Termites hide. They avoid light and rarely come out into the open. Mud tubes running up walls, floors and other areas of a property are a reliable indication of termite presence. Termites travel from food sources (wood) back to their nests by way of these mud tubes which are commonly found in basements of infested homes or running from soil to the house. Another means of travel is through hollow wood. You would also find evidence of dried mud, because termites have left the area and moved to the next food source in the property.

Borers of Seasoned Timbers

There are many types of wood borers in Australia. Borers are the larvae of various species of beetles. The adult beetles lay their eggs within timber and when the eggs hatch, the larvae 'bore' through the timber which can cause significant structural damage. The larvae may reside totally concealed within the timber for a period of several years before passing into a dormant pupal stage. Within the pupal case they change into the adult beetle which cuts holes in the outer surface of the timber to emerge, mate and lay further eggs to continue the cycle. It is generally only through the presence of these access 'pinholes', frass and dust formed by the activity that their presence can be detected.

Where floors are covered by carpet, tiles, or other coverings, and where there is no underfloor access, it is often not possible to determine the presence of borers. This is particularly the case with the upper floors of a dwelling.

There are many types of wood borer. Those which are most often found in timber in houses and furniture usually belong to one of the following groups.

Lyctid borer (Powder Post Beetle)

- powderpost beetles mostly attack during the first 6-12 months of service life of timber
- produce a fine powdery dust, similar to talcum powder
- attack the sapwood of certain susceptible species of hardwood timber and can cause serious structural weakening in timber that has a high sapwood content
- as only the sapwood is destroyed, larger dimensional timbers (rafters, bearers and joists) are seldom weakened significantly; however, smaller dimensional timbers such as tiling or ceiling battens often have extensive sapwood content and its destruction may result in collapse

Anobium borer (furniture beetle) and Queensland pine borer

- attack furniture, structural timbers, flooring and decorative wood work
- favour old, well seasoned timber, especially softwoods such as Baltic pine or New Zealand white pine. However some hardwoods are susceptible
- these beetles are responsible for instances of flooring collapse
- attack by this beetle is usually observed in timbers that have been in service for 10-20 years or more and mostly involves flooring and timber wall panelling
- frass from exit holes is fine and gritty and wood attacked by these borers is often honeycombed.
- prefers cool, humid conditions

Timber Decay Fungi

Wood decay by fungi establishes growth in unsealed, split, exposed timbers, in poorly ventilated areas such as subfloors, and around wet areas. Removal of the moisture source is generally the most powerful defence. Fungal decay is attractive to white ants and if the problem is not resolved it is possible that the area may be subject to termite attack.

Brown Rot (Cubic Rot)

- brown rot fungi feed on the wood's cellulose, leaving a brown residue of lignin, the substance which holds the cells together. Infested wood may be greatly weakened, even before decay can be seen.
- advanced infestations of brown rot are evidenced by wood more brown in colour than normal, tending to crack across the grain.
- after it is dried, wood previously infested with brown rot will turn to powder when **crushed**.

White Rot

- white rot attacks wood; it breaks down both the lignin and cellulose causing the wood to lose its colour and appear whiter than usual
- wood affected by white rot generally does not crack across the grain; rather it will shrink and collapse when severely degraded
- infested wood gradually loses strength and become springy to the touch

Concrete Slab Homes

Where a concrete slab forms the foundation of a home, it is important that the edge of the slab is left exposed. Weep holes in between the bricks, found immediately above the slab, must also be left unobstructed. When garden beds, lawns and foliage, decking, pavers and paths conceal the slab it is possible for termites to move in undetected and attack framing timbers of a building. They may move all the way up to truss work and roof frames, by which time massive damage may have been affected. Like any building constructed on a timber frame, a home on a concrete slab should be maintained and regularly inspected to prevent timber pest infestation.



SCOPE AND LIMITATIONS OF OUR INSPECTION



This report is intended to be read as a whole. Please read the detailed inspection information and the Scope & Limitations of Report sections before reaching any conclusions regarding the condition of the property. Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the Scope and Limitations of the inspection, form an integral part of the report.

This report has been prepared as a result of a **VISUAL INSPECTION** with reference to the requirements of Australian Standard AS 4349.0-2007 Inspection of buildings (General requirements), AS 4349.1-2007 Inspection of buildings (Pre-purchase inspections -

Residential buildings) and AS 4349.3 - 2010 Inspection of buildings Part 3: Timber Pest Inspections. It is limited to the condition of those areas of the property that were fully accessible (**see Reasonable Access**) and visible to the inspector at the date of the inspection. In the case of a Strata type property, our inspector only undertakes an examination of the interior of the unit.

Inspection of buildings – Pre Purchase Inspections – Residential Buildings

Inspection of the subject property and this report has been completed with reference to Australian Standard AS 4349.1-2007. The inspection is a **VISUAL INSPECTION ONLY**.

AS 4349.1 - Inspection of buildings excludes reporting of the following items: footings, concealed damp-proof course, electrical installations, smoke detectors and residue current devices; Plumbing, drainage, gas fitting, air conditioning and heating; Garage door opening mechanisms; Swimming pools, spas, saunas and associated equipment; The operation of fireplaces and chimneys; alarm systems and intercom systems; soft floor coverings including carpet and vinyl, floating floors; window treatments; appliances including dishwashers, garbage disposal units, ovens, ducted vacuum systems; paint coatings; landscaping.

Limitation of Liability

The report of this property is valid on the date of inspection. No responsibility is accepted for any matter not existing or evident or for any deterioration occurring after the inspection date.

This inspection is completely visual. Concealed areas where access is unavailable are unable to be inspected and are not reported on; such defects could include, but are not limited to:

- Breakage, blockage or interference with any concealed pipes, broken window mechanisms (sash cords) etc.
- Any part of the structure which is underground or concealed e.g. footings, wall framing, under floor coverings. Areas concealed by furnishings or stored goods etc.

No responsibility can be accepted for defects which are latent or otherwise not reasonably detected on a visual inspection without interference with or removal of any of the structure including fixtures, fittings, furniture, insulation or stored items within and around the building.

Safe and Reasonable Access

Australian Standard 4349.1 – 2007 3.2.2 The extent of accessible areas shall be determined by the inspector at the time of inspection, based on the conditions encountered at the time of inspection. The inspector shall also determine whether sufficient space is available to allow safe access. The inspection shall include only accessible areas and areas that are within the inspector's line of sight and close enough to enable reasonable appraisal. **The Australian Standard 4349.3** defines reasonable access as "areas where safe, unobstructed access is provided and the minimum clearances are available; or, where these clearances are not available, areas within the consultant's unobstructed line of sight and within arm's length. NOTE: Reasonable access does not include removing screws and bolts to access covers."

Reasonable access shall be determined in accordance with the provisions of the following Table:

Area	Access Manhole MM	Crawl Space MM	Height
Roof Interior	400 x 500	600 x 600	Accessible from a 3.6 m ladder
Roof Exterior			Accessible from a 3.6 m ladder
Subfloor	500 x 400	Vertical clearance - Timber Floor: 400* Concrete Floor: 500	

* To underside of bearer, joist or other obstruction to access.

Accordingly, this report is not a guarantee that defects and/or damage do not exist in any part of the property not specifically seen and described by the inspector. This report is not a warranty against problems that may develop in the future.

Compliance Report

No attempt is made in this inspection and reporting process to confirm that the existing improvements on the subject property are in strict accordance with approved plans. There may be variations in design, features and dimensions that are in conflict with each other. Additionally, there is no guarantee given that improvements are in accordance with the current Building Code of Australia. In most circumstances there is no requirement to upgrade specifications to the current Building Code.

Building Files

This report relies on the plans, survey reports, certificates of occupancy and other relevant documents supplied by the Department of Environment and Sustainable Development, the client or their agent. Our company or its employees cannot be held responsible for any omissions or errors in this report where incomplete, inaccurate or illegible information is supplied. It is the responsibility of the property owner to resolve any file discrepancies with the relevant authority. Documentation of any plumbing or electrical alterations is not included in the building file. If required this documentation can be obtained by the owner or other stakeholder from ACTEWAGL

Property Report

This report does not and cannot make comment upon: defects which may have been concealed; the assessment or detection of defects (including rising damp or leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects; the presence or absence of timber pests; gas fittings; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns, fire protection; site drainage (apart from surface water drainage); the operation of swimming pools and spas; detection and identification of unapproved building work; detection and identification of illegal or inadequate plumbing or electrical work; durability of exposed finishes; neighbourhood problems; document analysis; any matters solely regulated by statute; any area or item that could not be inspected by the inspector.

Unless otherwise specified, no examination has been made of any documentation of any type. We have not referred to statutory authority records nor have we examined any survey or water and sewerage service diagram or any other document prepared by any statutory authority or other party.

Purpose of This Report

The purpose of this report is to identify major defects or faults in the building for an intending purchaser, insofar as a property inspector can reasonably identify those defects or faults.

This report contains a number of observations but is not intended to list every defect. Defects are common to all properties and are generally attended to during routine maintenance, redecoration and or renovation. Generally, ongoing maintenance items, upgrading requirements, cosmetic works and minor defects or faults have not been included. These items will depend on your personal requirements and budget. The property age and type also needs to be taken into consideration.

Concealed Surfaces

The inspection did not include breaking apart, dismantling, removing or moving objects, including but not limited to foliage, mouldings, roof insulation or sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances, or personal possessions.

The inspector cannot see inside walls, between floors, inside skillion roofing, behind stored goods or any other areas that are concealed or obstructed. The inspector did not dig, gouge, force or perform any other invasive procedures. Visible timbers have not been destructively probed or hit.

Some defects may only be visible once furniture and other items have been removed from a property or when alterations are carried out. Built-in cupboards are usually filled with personal items and clothing. Some exterior surfaces may be obscured due to overgrown vegetation. Therefore, we cannot comment on the condition of the surfaces obscured by these items or otherwise concealed.

Water Penetration

Some water penetration problems and/or dampness do not become apparent and sometimes cannot be detected unless there has been recent heavy rain or prolonged periods of rain.

Roof drainage is not tested. Therefore, no guarantee is given or implied that the roof will remain weatherproof in all weather conditions. The very best roof drainage systems can fail in extreme weather sometimes impacted by conditions not related to the property under review. (Blocked or impaired stormwater drains for example)

Fire Protection Equipment & Ordinance Requirements

These are not covered by this report and these matters should be checked with the statutory authority. Any fire protection equipment has not been tested, e.g. smoke detectors etc.

Hazardous Materials & Contamination

Many building products with an asbestos cement component were in use prior to 1980 and are considered safe if left in their present state. The main concern with asbestos products is in relation to the sprayed Limpet Asbestos fibres which were generally used for acoustic and heat insulation in commercial buildings and these should not be tampered with before seeking expert advice which is freely available from Workcover. Our inspection and report does not cover any hazardous materials or prior use of the land and building or any chemicals applied to land and buildings, which may have caused contamination.

Retaining Walls & Structural Columns

We are not engineers. Comment in respect of large and/or structural retaining walls and columns are beyond the scope of this report. It is not possible to determine from a visual inspection whether a retaining wall or column has been built in accordance with sound engineering principles and, even if it has, whether it is or will remain sound. An engineer should be consulted in any case where there are large, or structural, retaining walls, columns or similar building elements.

Appliances

This report does not cover any matters relating to the operation of electrical or gas appliances. Any comments made in this regard are from a general observation only.

Cracking/Settlement/Movement & Structural Integrity

Where reference has been made in this report to cracking, settlement, movement or an opinion has been provided on structural integrity, **it is important to note that we are not experts in this area** and our advice is limited accordingly. If considered necessary, further advice should be obtained from a Structural Engineer before critical decisions are made relative to such matters. Any cracking reported should be monitored for further movement. If further movement is noted, a Structural Engineer should be consulted at the earliest opportunity. Cracking of masonry walls is very common in the ACT, particularly where there are volatile clay soils. There may be some superficial or hairline cracks that we consider have no structural implications which have not been identified.

Electrical, Gas & Other Service Installations

We are not licensed electricians, gas fitters or mechanical engineers. This report does not cover any matters relating to electrical and gas installations or any apparatus operated by electronic, mechanical or hydraulic means. You should satisfy yourself as to the operation and condition of any appliances or other installations. Any comments made in this regard are from general observation only. There has been no electrical, data, security or fire detection system testing or investigation.

Plumbing & Drainage

We are not licensed plumbers and a specialist inspection of the water service, plumbing and drainage system including roof drainage is excluded from this report. We recommend an inspection by a licensed plumber and drainer to identify any plumbing faults or drainage problems.

Timber Pests

If this report does not include one, we strongly recommend that an independent inspection and report be obtained from a specialised, accredited Pest Inspector to determine whether the property is free from infestation (whether active or dormant).

Boundaries

Unless otherwise stated the inspector has not gained access to any neighbouring properties and is therefore unable to comment upon the external state of any boundary fences and walls. The common areas of unit developments are not inspected. Any comments made in relation to common areas are from general observation only.

Special Purpose Reports

This Property Report does not contain any assessment or opinion in relation to any item which is the subject of a **Special Purpose Property Report**, or any matter where the inspection or assessment of which is solely regulated by Statute. Special Purpose Property Reports include comment on the following: Common property areas, environmental concerns such as sunlight, privacy, streetscape and views, proximity of property to flight paths, railways and busy traffic or other neighbourhood issues; Noise levels; Health and safety issues including, but not limited to the presence of asbestos, lead or other hazardous materials; Heritage concerns; Security or fire protection systems; Climate control or water heating systems; Analysis of site drainage apart from surface water drainage; Swimming pools and spas; Detection and identification of illegal and unauthorized plumbing work; Durability of exposed finishes.

Timber Pest Report

This inspection **DID NOT** include breaking, removing or moving objects. Floor and wall coverings, roof insulation, foliage, furniture, appliances and personal possessions may all limit the scope of inspection. The inspector does not have access to the inside of walls, between flooring, inside eaves and skillion roofing, and cannot move stored goods during an inspection. At **NO TIME** did the inspector use invasive procedures or bang/tap surfaces to reach conclusions. Where the property is occupied, please note that furnishings and household items may be concealing evidence of Timber Pests which may only be revealed when the items are moved. The inspector did not move furniture or stored goods or use invasive procedures to access any area of the property.

Scope of the Report

This Report is confined to reporting infestation and/or damage caused by white ants (subterranean and damp wood termites), borers of seasoned timber and Timber Pests (wood decay fungi), present on the date of the Inspection. The Inspection did not cover any other pests and this Report does not comment on them. Dry wood termites and European House Borer (*Hylotrupes bujulus* Linnaeus) were excluded from the Inspection due to the extreme difficulty in locating the small colonies; however, they will be referred to if, in the course of the Inspection, any visual evidence of infestation happened to be found. Some species of termite and house borers, if discovered, will be reported (by law) to Government Authorities.

Limitations

This report does not contain any assessment or provide an opinion with respect to:

- any area or item that was not, or could not be inspected
- a matter that is not within the inspector's expertise
- a matter, the inspection or assessment of which is solely regulated by statute
- any area/item that is the subject of a special-purpose timber pest inspection report

The inspector does not imply that inaccessible or partly inaccessible areas of the property were not, or have not been, infested by Timber Pests. This Report is not a guarantee that an infestation or future infestation and/or damage does not exist in any inaccessible or partly inaccessible areas of the property.

Determining Extent of Damage

This Report is **NOT** a structural damage report. You agree that neither we nor the Inspector are responsible or liable for the repair of any damage, whether disclosed by our report or not. Our inspectors are not necessarily specialised builders and any inexperienced opinion provided with respect to timber damage **CANNOT** be relied upon. The Report will not state the full extent of any timber pest damage; rather, we may provide comment on the damage for your information. If evidence of Timber Pest activity and/or damage is reported in the structure(s) or the grounds of the property, then you must assume that there may be further concealed structural damage within the building(s). This concealed damage may only be found when invasive procedures are applied to reveal previously concealed timbers. In the case of Timber Pest activity and/or damage **WE STRONGLY RECOMMEND** an invasive Timber Pest Inspection is undertaken and a qualified person such as a Builder, Structural Engineer, or Architect be engaged to carry out a structural inspection to determine the full extent of the damage and repairs that may be required.

Mould

Mould (also referred to as Mildew and non wood decay fungi) is not considered a Timber Pest. This report does not cover the inspection of Mould. If evidence of mould was observed during the inspection, it may be noted for your information. If you are concerned as to the possible health risk resulting from the presence of mould then you should seek advice from your local Council, State or Commonwealth Government Health Department or a qualified expert.

IMPORTANT INFORMATION

The Purchaser is advised that this Report reflects the condition of the property existing at the time of the inspection date and may not reflect the current state. Timber Pests, particularly termites, may have gained entry to the property since the inspection date. Termites can, in a relatively short period, cause significant damage to both structural and non-structural timbers within and around the buildings of the property. Termites (white ants) may be difficult to detect and much of the damage caused may not be readily visible. If damage exists it may cost thousands of dollars to repair. It is, therefore, strongly recommended that you promptly arrange for an inspection in accordance with Australian Standard AS4349.3 if this report is being read after one hundred and eighty (180) days from the date of inspection.

If the Report indicated the presence of Termites, termite damage, or recommends any treatments or other inspections and reports, you should obtain copies of the treatment proposal, any certificates of treatments carried out, details of all repairs including copies of quotations, invoices and any other reports. It is strongly recommended that you arrange for an inspection in accordance with AS 4349.3 to verify that the treatment has been successful and carried out in accordance with AS 3660.2 and arrange for a further building inspection in accordance with AS 4349.1. The person carrying out the inspection and the company, partnership or sole trader that employs that person will have no liability to you for any damage or loss you may suffer as a result of your entering the contract to purchase the property or in connection with completing the purchase of the property as a result of your failure to heed the advice given in this report, and may use such failure in defence of any claim that you may later make against any of them.

General

Occupational Health & Safety Act

A non-residential building and the common property of some group residential buildings will fall within the definition of a workplace for the purposes of the Occupational Health and Safety Act,

The owners of workplaces must ensure that:

- *premises are safe and without risk*
- *plant and substances are used without risk*
- *workers are trained in OH&S, are aware of their obligations and do, in fact, act in a safe manner*

A pre-purchase building inspection may identify some safety issues in the common area but it is not an audit conducted for that specific purpose. It is essential that every Owners' Corporation or Company consult an appropriately qualified specialist to ensure it meets its legislative obligations.

Safe Working Temperatures for the Inspector

When the temperature of a workspace (for example a ceiling cavity) exceeds the level considered to be safe according to OH&S guidelines, the inspector will complete a risk assessment and the inspection will be limited accordingly. In the event that the inspector decides that the temperature exceeds safe working limits, generally, the inspection will be limited to the area immediately adjacent to the access for inspection.

WARRANTY AND USE OF THIS REPORT

This report is made solely for the use and benefit of:

1. **The Client** named in this report
2. **The Purchaser** of this property

NO LIABILITY or responsibility whatsoever, in contract or tort is accepted to any **Other Party** who may rely on the report wholly or in part. Any **Other Party** acting or relying on this report, wholly or in part, does so at their own risk.

NO LIABILITY shall be accepted on account of failure of the Report to notify any Termite activity and/or damage present at or prior to the date of the Report in any areas(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for inspection is denied by or to the Licensed Inspector (including but not limited to any area(s) or section(s) so specified by the Report).

The report is only an opinion of Residential Reports and is valid for one hundred and eighty (180) days from the date of inspection as per the Civil Law (Sale of Residential Property) Act. No liability will be accepted or claims considered after the expiration of this period of liability.

In the event that a defect is identified that has not been documented in this report Residential Reports must be notified before **ANY** remedial action is taken. **NO LIABILITY** shall be accepted where remedial action is taken prior to Residential Reports being advised of the defect and given the opportunity to re-inspect the property and identify the defect.

Copyright remains with Residential Reports, the report is not to be copied or reproduced without the written authority of the author.

This report supersedes any other report, verbal or written, given to you by this company in respect of this property. If items require clarification, please call our office for assistance.

Department of Fair Trading

Within 7 days of the preparation of this report the details as stated in the Civil Law Registrations Part 2, 7 (4) have been provided to the Department of Fair Trading as required.

Please feel free to contact our inspector at any time if you have questions or require clarification about the contents of this report prior to acting on this report.



Signed on behalf of:

Avonmore Investments Pty Limited trading as RESIDENTIAL REPORTS

ABN 97 381 180 850

Lindsay Collison - Class A Building Assessor Licence No. 2011331



FirstRate Report



YOUR HOUSE ENERGY RATING IS: ★★
in Climate: 24

2 STARS

SCORE: -38 POINTS

Name: George Jerogin

Ref No: 9079

House Title: Block 14, Section 3

Date: 22-11-2013

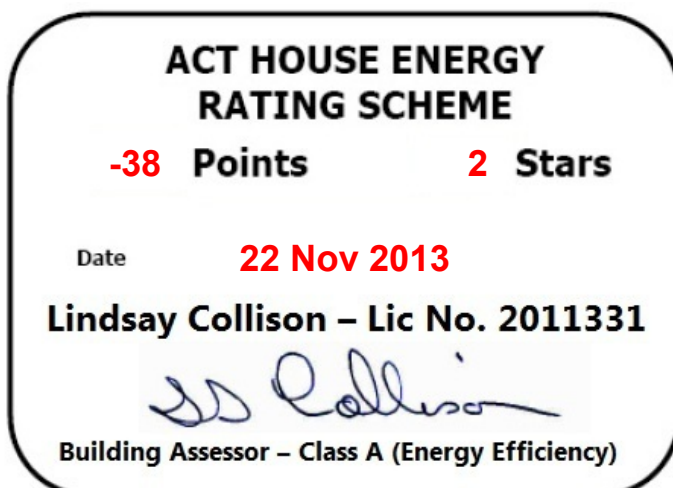
Address: 43 Glasgow Street

Hughes

2605

Reference: C:\PROGRA~1\...\GLASGOW STREET HUGHES 43 1311

This rating only applies to the floor plan, construction details, orientation and climate as submitted and included in the attached Rating Summary. Changes to any of these could affect the rating.



IMPROVING YOUR RATING

The table below shows the current rating of your house and its potential for improvement.

Star Rating	POOR			AVERAGE				GOOD				V. GOOD
	0 Star	★	★★	★★★	★★★★	★★★★★	★★★★★★	★★★★★★★	★★★★★★★★	★★★★★★★★★	★★★★★★★★★★	
Point Score	-71	-70	-46	-45	-26	-25	-11	-10	4	5	16	17
Current	-38	<input type="text"/>										
Potential	-15	<input type="text"/>										

Incorporating these design options will add the additional points required to achieve the potential rating shown in the table. Each point represents about a 1% change in energy efficiency. This list is only a guide to the range of options that could be used.

Design options

Additional points

Change added floor insulation	R 2.5	15
Change curtain to	Heavy Drapes & Pelmets	3
Seal External Doors		1
Seal Exhaust fans		1
Seal Internal Doors		2

DESIGN OPTIONS

The design option suggestions to improve this energy rating may be additional to elements already in place. For example, the option to install 'Heavy Drapes and Pelmets' will take into account windows that already have Heavy Drapes and Pelmets installed. Insulation recommendations will take into account existing insulation values.

Some recommendations for improvement will not be practical in all circumstances. For example, if the dwelling is built on a concrete slab or the external walls are solid brick, it would not be possible to install insulation.

FirstRate Mode
Climate: 24

RATING SUMMARY for: Block 14, Section 3, 43 Glasgow Street, Hughes

Assessor's Name: Lindsay Collison
 Net Conditioned Floor Area: 169.1 m²

Feature		Points				
		Winter	Summer	Total		
CEILING		5	1	6		
Surface Area:	0	Insulation:	6			
WALL		-20	4	-16		
Surface Area:	-7	Insulation:	-22	Mass: 14		
FLOOR		-4	0	-5		
Surface Area:	0	Insulation:	-5	Mass: 0		
AIR LEAKAGE (Percentage of score shown for each element)		4	0	4		
Fire Place	0 %	Vented Skylights	0 %			
Fixed Vents	0 %	Windows	28 %			
Exhaust Fans	21 %	Doors	29 %			
Down Lights	0 %	Gaps (around frames)	21 %			
DESIGN FEATURES		0	1	1		
Cross Ventilation	1					
ROOF GLAZING		0	0	0		
Winter Gain	0	Winter Loss	0			
WINDOWS		-22	-6	-28		
Window Direction	Area		Point Scores			
	m2	%NCFA	Winter* Loss	Winter Gain	Summer Gain	Total
N	8	5%	-8	6	-1	-3
E	9	5%	-9	2	-1	-8
S	14	8%	-13	5	-3	-11
W	11	6%	-10	5	-2	-7
Total	42	25%	-40	18	-6	-28

* Air movement over glazing can significantly increase winter heat losses. SEAV recommends heating/cooling duct outlets be positioned to avoid air movement across glass or use deflectors to direct air away from glass.

The contribution of heavyweight materials to the window score is -3 points

		Winter	Summer	Total
RATING	★ ★	-38	-3	-38*
SCORE				

* includes 3 points from Area Adjustment

Detailed House Data

House Details

ClientName George Jerogin
HouseTitle Block 14, Section 3
StreetAddress 43 Glasgow Street
Suburb Hughes
Postcode 2605
AssessorName Lindsay Collison
FileCreated 22-11-2013
Comments

Climate Details

State
Town Canberra
Postcode 2600
Zone 24

Floor Details

ID	Construction	Sub Floor	Upper	Shared	Foil	Carpet	Ins RValue	Area
1	Timber	Enclosed	No	No	No	Tiles	R0.0	33.9m ²
2	Timber	Enclosed	No	No	No	No	R0.0	51.0m ²
3	Timber	Enclosed	No	No	No	Carp	R0.0	102.0m ²

Wall Details

ID	Construction	Shared	Ins RValue	Length	Height
1	Brick Cavity	No	R0.0	66.0m	2.4m

Ceiling Details

ID	Construction	Shared	Foil	Ins RValue	Area
1	Attic - Standard	No	No	R4.0	186.9m ²

Window Details

ID	Dir	Height	Width	Utility	Glass	Frame	Curtain	Blind	Fixed & Adj Eave	Fixed Eave	Head to Eave
1	S	1.3m	2.1m	No	SG	STEEL	HP	No	0.6m	0.6m	0.0m
2	S	1.3m	2.1m	No	SG	STEEL	HP	No	0.6m	0.6m	0.0m
3	S	1.3m	2.1m	No	SG	STEEL	HP	No	0.6m	0.6m	0.0m
4	S	1.8m	0.3m	No	SG	TIMB	NC	No	1.5m	1.5m	0.0m
5	S	1.6m	3.3m	No	SG	STEEL	HP	Yes	0.6m	0.6m	0.0m
6	W	1.3m	2.1m	No	SG	STEEL	HP	Yes	0.6m	0.6m	0.0m
7	W	1.3m	1.6m	No	SG	STEEL	HP	Yes	0.6m	0.6m	0.0m
8	W	1.3m	1.6m	No	SG	STEEL	HP	Yes	0.6m	0.6m	0.0m
9	N	1.0m	1.8m	No	SG	STEEL	VE	Yes	0.6m	0.6m	0.0m
10	N	1.0m	0.6m	No	SG	ALSTD	CW	Yes	0.6m	0.6m	0.0m
11	N	1.7m	0.6m	No	SG	ALSTD	VE	No	0.6m	0.6m	0.0m
12	E	1.7m	0.6m	No	SG	ALSTD	VE	No	4.0m	4.0m	0.0m
13	E	2.1m	3.7m	No	SG	ALSTD	HP	No	4.0m	4.0m	0.0m
14	N	0.7m	0.6m	Yes	SG	STEEL	NC	No	6.0m	6.0m	0.0m
15	N	0.8m	0.8m	Yes	SG	TIMB	NC	No	6.0m	6.0m	0.0m
16	N	0.7m	0.6m	Yes	SG	STEEL	CW	No	6.0m	6.0m	0.0m
17	N	0.9m	1.2m	Yes	SG	STEEL	NC	No	6.0m	6.0m	0.0m
18	N	1.3m	1.6m	No	SG	STEEL	HP	No	0.6m	0.4m	0.0m
19	W	2.1m	1.8m	No	SG	ALSTD	HP	No	4.0m	4.0m	0.0m

Window Shading Details

ID	Dir	Height	Width	Obst Height	Obst Dist	Obst Width	Obst Offset	LShape Left Fin	LShape Left Off	LShape Right Fin	LShape Right Off
4	S	1.8m	0.3m	0.0m	0.0m	0.0m	0.0m	2.0m	0.0m	1.0m	0.0m
11	N	1.7m	0.6m	0.0m	0.0m	0.0m	0.0m	1.2m	0.0m	0.0m	0.0m

12	E	1.7m	0.6m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	8.1m	2.8m
13	E	2.1m	3.7m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	7.3m	0.0m
14	N	0.7m	0.6m	0.0m	0.0m	0.0m	0.0m	6.0m	0.0m	0.0m	0.0m
15	N	0.8m	0.8m	0.0m	0.0m	0.0m	0.0m	6.0m	0.0m	0.0m	0.0m
16	N	0.7m	0.6m	0.0m	0.0m	0.0m	0.0m	6.0m	0.0m	0.0m	0.0m
17	N	0.9m	1.2m	0.0m	0.0m	0.0m	0.0m	6.1m	3.5m	0.0m	0.0m
19	W	2.1m	1.8m	4.0m	4.0m	2.8m	-0.1m	4.0m	0.0m	0.0m	0.0m

Sky Light Details

ID	Dir	Tilt	Type	Shade	Utility	Width	Length
1	E	0 degrees	Double Opal	No	No	0.2m	0.2m

Zoning Details

Is there Cross Flow Ventilation ? Good

Air Leakage Details

Location	Suburban	
Is there More than One Storey ?	No	
Is the Entry open to the Living Area ?	No	
Area of Heavyweight Mass	0m ²	
Area of Lightweight Mass	0m ²	
	Sealed	UnSealed
Chimneys	0	0
Vents	0	0
Fans	0	1
Downlights	0	0
Skylights	0	0
Utility Doors	0	4
External Doors	0	2
Unflued Gas Heaters	0	
Percentage of Windows Sealed	98%	
Windows - Average Gap	Small	
External Doors - Average Gap	Small	
Gaps & Cracks Sealed	Yes	

Rater Comments

House Details

ClientName	George Jerogin
HouseTitle	Block 14, Section 3
StreetAddress	43 Glasgow Street
Suburb	Hughes
Postcode	2605
AssessorName	Lindsay Collison
FileCreated	22-11-2013

Rater Comments

MEASUREMENTS USED IN THIS ASSESSMENT

The Energy Rating recorded in this assessment is determined by assessing many elements of the structure and interior treatments including window and floor coverings. The area of external walls and windows, ceiling and floors are part of the assessment.

Some measurements used in this assessment may be nominal. Every effort is made by the assessor to accurately calculate the dimensions of property. However, often accurate and comprehensive plans indicating all dimensions of an existing property, particularly following alterations and extensions are not always available. The reader of this report should not rely on the accuracy of any dimensions used when making critical decisions relating to those dimensions. The assessor will not accept any liability should any discrepancy be revealed.

DESIGN OPTIONS

The design option suggestions to improve this energy rating may be additional to elements already in place. For example, the option to install 'Heavy Drapes and Pelmet' will take into account windows that already have Heavy Drapes and Pelmet installed. Insulation recommendations will take into account existing insulation values.

Some recommendations for improvement will not be practical in all circumstances. For example, if the dwelling is built on a concrete slab, it will be possible to install floor insulation.

DOOR SEALS AND WEATHER STRIPS

A wooden framed door is only considered to be sealed when a draft extruding device is fitted to the bottom of the door AND sealing tape or felt is fitting to the timber frame around the door opening.

WINDOW GLAZING RATIOS

Glazing areas in one direction greater than 25% of the nett conditioned floor area will reduce the Energy Efficiency Rating.

Energy Efficiency Rating Fact Sheet

**Residential Reports Inspectors are ALL
Licenced Class A Energy Efficiency Assessors**

QUICK FACTS

- Sellers of residential properties are required to provide an Energy Efficiency Rating (EER) to potential buyers. (*This is known as mandatory energy efficiency disclosure.*)
- The EER forms part of the Sale Contract and must be published in all advertising material
- The EER rating system uses computer simulations to assess the potential thermal comfort of your home. The more stars, the less likely the occupants need cooling or heating to stay comfortable.
- The ACT Government has two systems in place for Energy Ratings:
 - one is for new homes - (2nd Generation Software) and
 - one is for established homes – (1st Generation Software)**Residential Reports (and all other companies preparing reports for the sale of a property) uses 1st Generation Software.**
- The consumption of energy in the home for heating, cooling, hot water or lighting and other appliances **IS NOT** considered when calculating the EER rating.

WHAT IS RATED?

The rating is dependent on:

- Layout of the home
- Construction of its roof, walls, windows and floor
- Wall, floor and ceiling insulations
- Orientation of windows and shading of the sun's path and local breezes
- Influence of the local climate



WHY IS THERE A DISCREPANCY BETWEEN MY OLD EER AND MY NEW EER?

- Increasingly, in a number of circumstances particularly where new homes have been rated using 2nd generation software and are being offered for sale where the rating is conducted using 1st generation software, there can be a significant variation between the two ratings:
 - 1st generation software rates to 6 stars
 - 2nd generation software rates to 8 stars
- ACT Legislation currently **PROHIBITS** Inspectors from assuming insulation values which may have been the case previously. Documented proof or access for a visual sighting is **NOW REQUIRED** to verify the existence and rating of insulation.

When you engage Residential Reports to complete your EER you have the peace of mind of knowing the Inspector undertaking your assessment is licensed in the ACT as a Class A Energy Assessor and your Energy Rating is calculated using software approved by the ACT Government.

Further information is available via the ACT Planning & Land Authority

http://www.actpla.act.gov.au/topics/hiring_licensing/employ_professional/energy_assessors



MECON Winsure Insurance Group
A.B.N 29 059 310 904
AFSL 253106

www.mecon.com.au / www.winsure.com.au

Tuesday, September 3 2013

CERTIFICATE OF CURRENCY

The Insured: Avonmore Investments Pty Ltd T/as Residential Reports
Effected With: Certain underwriters at Lloyd's
Policy Class: Professional Indemnity
Insured's Address: 538 Glen Eira Road CAULFIELD EAST VIC 3145
Policy Number: HPI908-3055
Professional Services: Pre purchase building inspections and real estate activities
Period of Insurance: 06-09-2013 to 06-09-2014 at 4:00pm Local Time
Retroactive Date: 06-09-2004
Limits of Liability: **A\$1,000,000.00** any one claim and **A\$1,000,000.00** in the aggregate for all claims made during period of insurance
Extensions: As per policy
Excess: **A\$5,000.00** each and every loss costs inclusive
Policy Wording: WINSURE_PI_08

Signed on behalf of certain underwriters at Lloyd's by MECON Winsure Insurance Group Pty Ltd

Kind regards,

A handwritten signature in black ink, appearing to read 'M. Boon'.

Matthew Boon
General Manager
MECON Winsure Insurance Group Pty Ltd

SYDNEY
Level 5, 50 Margaret Street
Sydney NSW 2000 Australia
PO Box R1789
Royal Exchange NSW 1225
Tel: (02) 9252 1040
Fax: (02) 9252 1050

MELBOURNE
271-273 Wellington Road
Mulgrave VIC 3170
PO Box 8226 Monash University LPO
Clayton VIC 3800
Tel: (03) 8562 9180
Fax: (03) 8562 9181

BRISBANE
Suite 21, Level 3, 50-56 Sanders Street
Upper Mt Gravatt QLD 4122
PO Box 6037
Upper Mt Gravatt QLD 4122
Tel: (07) 3146 0100
Fax: (07) 3114 0445

TAX INVOICE

PAID



Job Number 9079

Please ensure this number is used when making payment

22 November 2013

George Jerogin

For the Property at: 43 Glasgow Street Hughes ACT 2605

RAPID INSPECTIONS PACKAGE	
ESDD conveyancing file fees (no GST)	83.40
Drainage Plans (no GST)	20.70
ESDD EER Lodgement Fee (no GST)	29.70
Property Inspection and Report (package price)	260.00
Pest Inspection and Report (package price)	321.20
Building Compliance Inspection and Report (package price)	260.00
1 st Rate Energy Efficiency Inspection & Report	0.00
GST INCLUDED IN TOTAL	76.47
TOTAL	\$975.00

thank you for your business

PAYMENT OPTIONS	
Credit Card	Please call our office on 6288 0402 to provide card details. Your account is not debited until the day reports are provided to you. By calling us with these details as soon as possible, you will ensure there is no delay when reports are ready to be released. A 1.8% surcharge applies.
Direct Deposit	Account Name: Residential Reports BSB: 012-997 Account Number: 3521 72543 Reference: 9079 IMPORTANT: PLEASE ensure this unique ID is used
Cash or Cheque	Can be provided to your inspector on the day. Please notify our office if you choose this option so we can note it on their job sheet. Cheques made payable to 'Residential Reports' please.

Avonmore Investments Pty Limited trading as Residential Reports **ABN** 97 381 180 850
35 Poynton Street Hughes ACT 2605 **p** 6288 0402 **f** 6288 9516 **e** info@residentialreports.com.au
We are a member of the MASTER BUILDERS ASSOCIATION & THE ACT REAL ESTATE INSTITUTE
residentialreports.com.au

CONVEYANCING BUILDING FILE INDEX

SUBURB: Hughes SECTION: 3 BLOCK: 14 UNIT: - EX GOV: No PAGE: 1/1

COU ISSUED Y/N	PLAN NUMBER	FOLIO NO.	DESCRIPTION OF WORK	AMEND	DETAILS	INDEM INSUR	SURVEY	PERMIT NUMBER	COST OF WORKS	COU PLAN NO. & DATE	FOOTINGS DATE
Y	10537	2	Residence						£7000		
		6						10537			
		34									11-01-66
Y	10537/A	38		Y							
		42	Final (Plan 10537)								24-02-66
		44								10537+A 03-03-66	
Y	10537/B	47	Brick Additions to Residence						\$10,964		
		48	Survey				Y				
		52						10537/B			
		56	Survey				Y				
		61	Final (Plan 10537/B)								27-01-70
		62								10537/B 03-02-70	
Y	10537/C	64	Metal Carport						\$230		
		68						10537/C			
		71	Final (Plan 10537/C)								02-01-73
		73								10537/C 03-01-73	
N	10537/D	74	Swimming Pool						\$4,200		
Y	10537/E	75	Swimming Pool						\$4,000		
		78						10537/E			
		83	Final (Plan 10537/E)								07-01-77
		86								10537/E 10-01-77	
Y	10537/F	87	Brick Additions to Residence						\$6,500		
		89						10537/F			
		100	Final (Plan 10537/F)								10-09-80
		102								10537/F 14-09-80	

Y	10537/G	103	Fireplace					\$1,080		
		105					10537/G			
		108	Final (Plan 10537/G)							10-07-85
		109							10537/G 15-07-85	

Drainage Plan Number: 8764

Soil Classification Number: No

Comments: No C of O was issued for Plan 10537/D; Building Approval Only.

CONVEYANCING PART 2

No information is provided in respect of electrical, drainage or sewer matters and or to the location of overhead power lines or underground cables in relation to the building.

- | | <u>Yes</u> | <u>No</u> |
|--|--------------------------|-------------------------------------|
| 1. (a) Is this a government or ex government house? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| (b) If yes, is there a building file with approvals on it? | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Is there any record of incomplete building work on the building file?
See file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. Are there any records on the building file of current housing
Indemnity insurance policies for building work?
(Current within 5 years) See file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. Are there any records on the building file showing building
applications still being processed?
(Current within 3 years) See file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5. Are there any records on the building file of current notices issued
over the property? See file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

If available, copies of the following documents are provided:

- | | | |
|--------------------------------|-------------------------------------|-------------------------------------|
| • Certificate of Occupancy | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Survey Certificates | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Approved Building Plans | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Ex government Building Plans | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

If requested:

- | | | |
|--------------------|-------------------------------------|--------------------------|
| • Drainage Plan(s) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--------------------|-------------------------------------|--------------------------|

Search officer comments (if any?) See Index

Search officer initials: Louise

Cost of application: \$ 104.10

Date completed: 21-11-13

Please Note: Building approvals that have been generated via eDevelopment will be issued with a project number prefixed by the letter B. Initial building approval documentation will be identified with project number B20XXXXX only but will be referenced as B20XXXX/A on the Certificate of Occupancy and Use. Any amendments to the original approval will be issued with the project number and an alphanumeric digit. The first amendment will be identified as B20XXXX/B, the second amendment B20XXXX/C etc.

COURTENAY & BARRETT

LAND & ENGINEERING SURVEYORS

Registered under Surveyor's Act, 1929
permitted to practise in the A.C.T.



Office Address

ROOM 2, MANUKA ARCADE
MANUKA, A.C.T.
Phone 9 4633

10537

BEDE S. COURTENAY

20 Rodway Street, Yarralumla
Phone 81 2511

PETER C. BARRETT

42 Cadell Street, Downer
Phone 4 6417



Ref.....

21st December, 1965.

Survey Report Re BLOCK 14, SECTION 3, DIVISION of HUGHES.

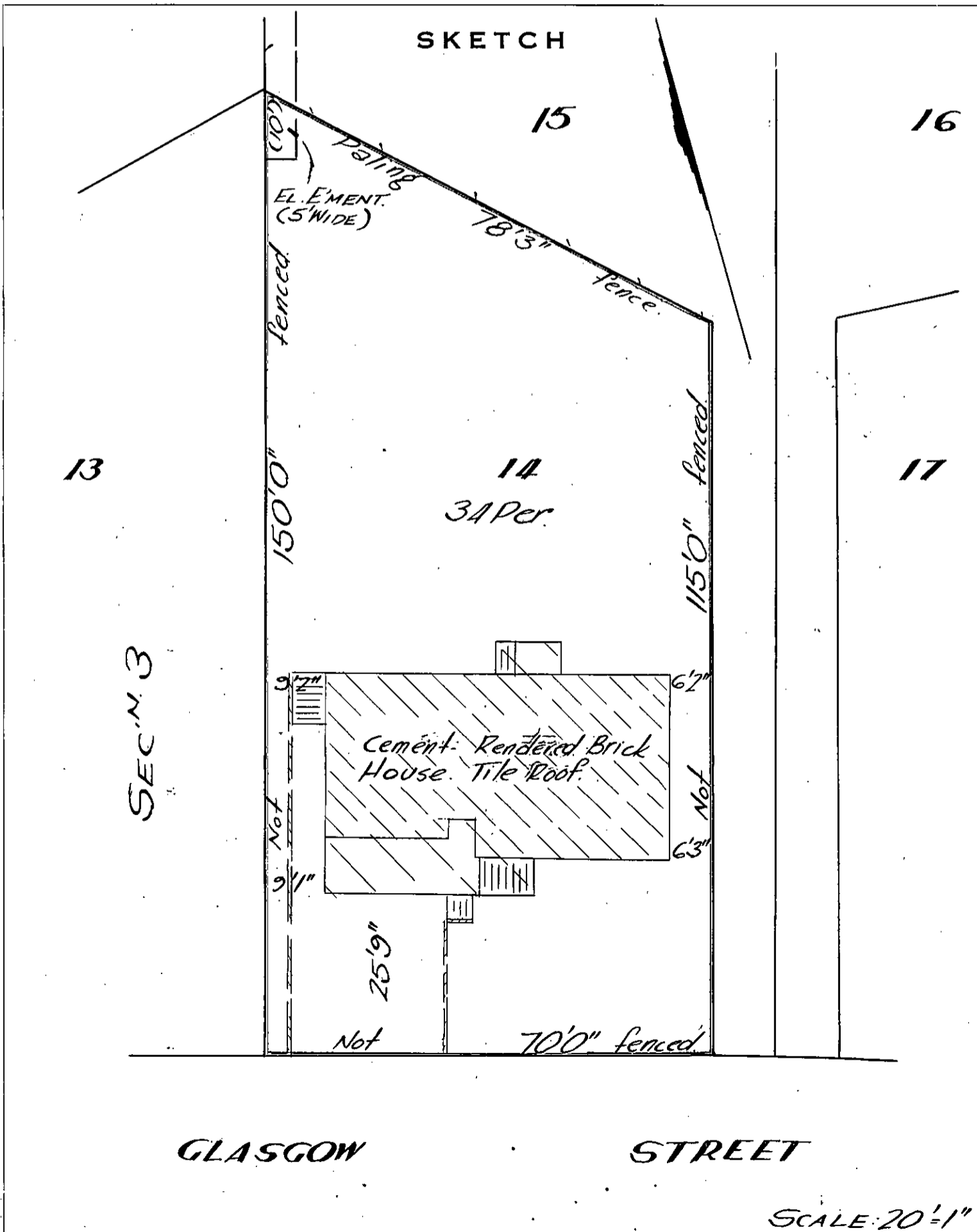
As instructed I have surveyed all that piece or parcel of land, containing 34 perches, being BLOCK 14, SECTION 3, DIVISION of HUGHES, CANBERRA CITY DISTRICT, AUSTRALIAN CAPITAL TERRITORY.

I hereby certify that erected wholly upon the above-mentioned land; in the position shown on the accompanying sketch, is a Cement Rendered Brick House, roofed with Tiles.

There are no encroachments on this property and none by this property upon any adjoining lands or Street.

Peter C. Barrett

REGISTERED SURVEYOR.



10537 PA

P. R. SIMMS
REGISTERED SURVEYOR
Phone 48



175 ALINGA STREET,
CANBERRA CITY.

Please address all correspondence to:
P.O. BOX 21, WATSON, A.C.T., 2602

Ref: 2326

10th October, 1969.

SURVEY REPORT

The Manager,
Monad Constructions Pty. Ltd.,
No.4, 1st Floor,
Newcastle Building,
Bunda Street,
CANBERRA CITY. A.C.T. 2601.

Dear Sir,

LAND in the Division of HUGHES, District of Canberra City, in the Australian Capital Territory, containing an area of 34 perches, having a frontage of 70 feet to Glasgow Street, being BLOCK 14 of SECTION 3 as shown on Deposited Plan No. 1346 and being the land shown edged in red on the sketch opposite.

As instructed I have surveyed part of the land described above and I find that:-

1. On the land and entirely within its boundaries stands a brick cottage, being extended known as No. 43 Glasgow Street, Hughes. The distances from the wall of the extension to the boundary is shown in green on the sketch, and the extension complies with the provisions of Clause 47 of the Canberra Building Regulations.

2. This part of the land is fenced as shown on the sketch.

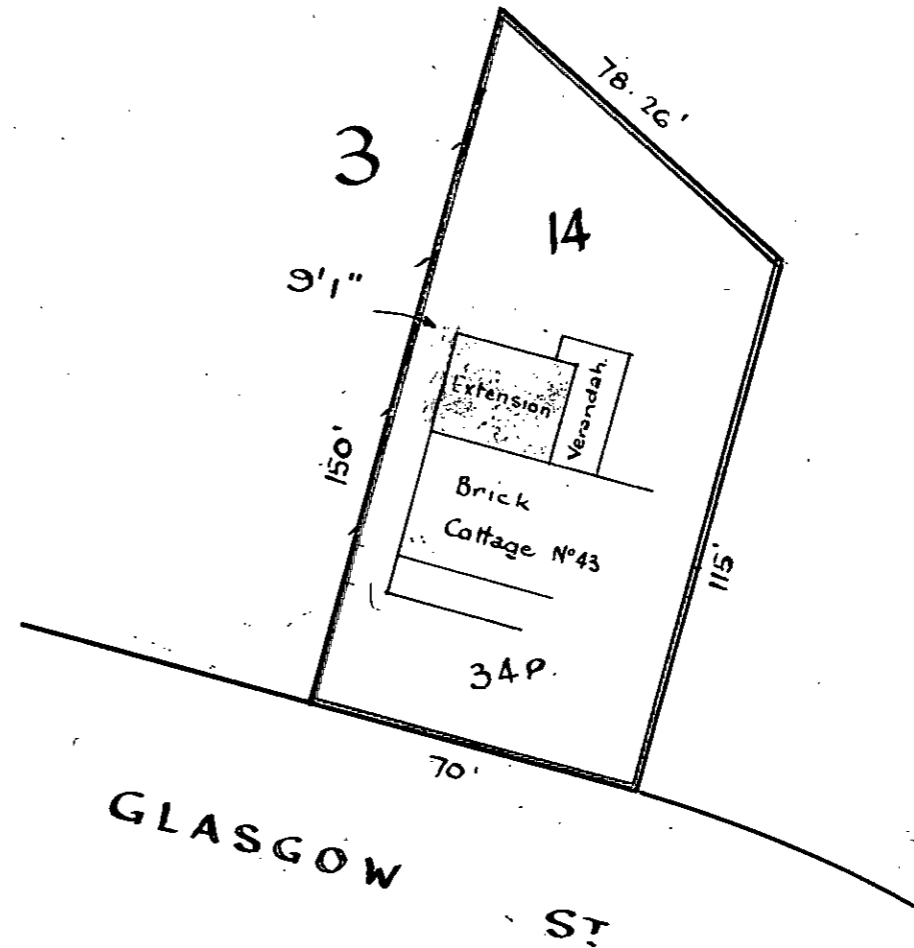
3. There are no encroachments on this part of this land nor by this part of the property on the adjoining lands or street.

Yours faithfully,

Registered Surveyor.

SKETCH

Scale: 40 feet to an inch



Registered under the Surveyors Ordinance 1967 (A.C.T.)
and the Surveyors Act (N.S.W.)

44

1280

Regulation 69A

Australian Capital Territory

Building Ordinance 1964

Canberra Building Regulations.

CERTIFICATE AS TO FITNESS FOR OCCUPANCY AND USE

I certify that a Small Residence
on Block 14 of Section 3 at Hughes
is fit for occupation and use.

Plan No. 10537 10537A

Permit Holder Mr. Bell

Lessee J. Lazicki

[Signature]

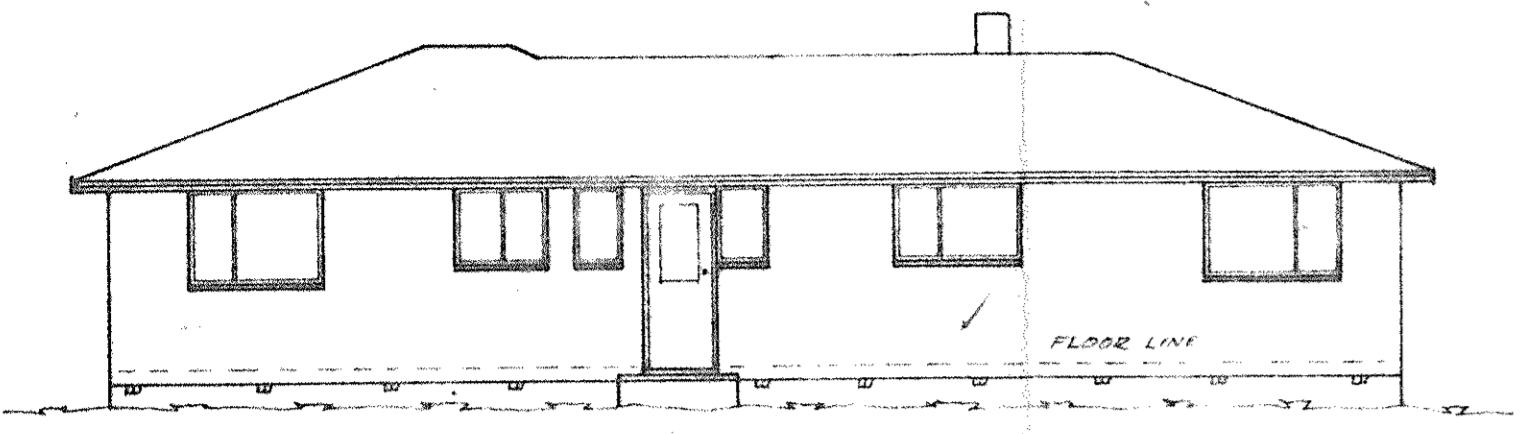
Proper Authority

Date 2nd March 1966

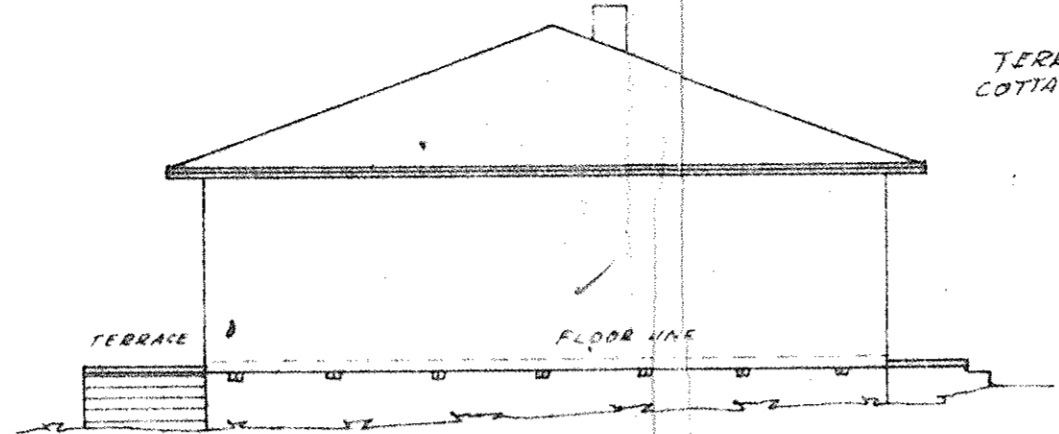
PROPOSED BRICK-RESIDENCE FOR MR. I. LAZICKI OF 51 FROGSBATT ST. TURNER AT BLOCK 14, SEC. 3, GLASGOW ST., HUGHES. SCALE 1/4" = 1'-0"

A.C.T. LAND AND SURVEY DEPT. CANBERRA BUILDING REGULATION PLAN No. 10537

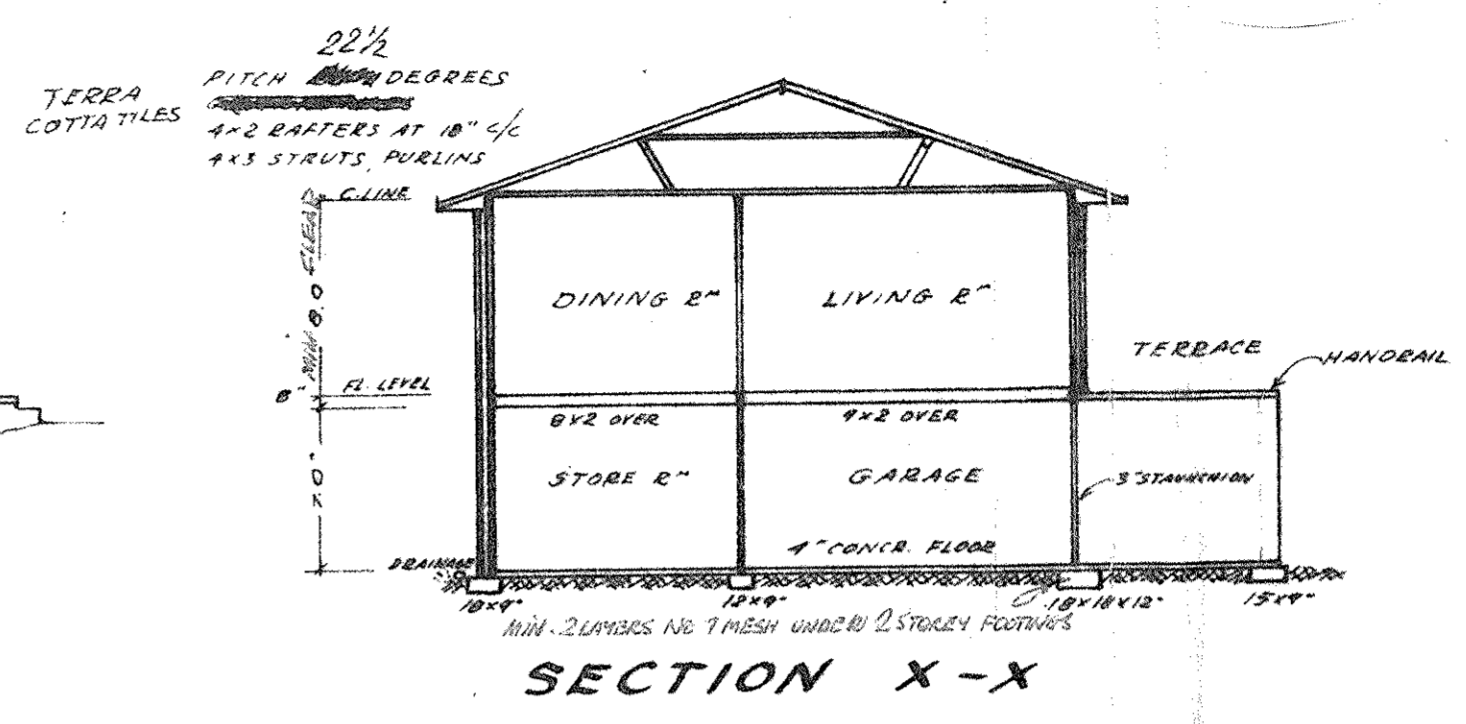
DEPT. OF LAND AND SURVEY
7 JAN 1965
BUILDING SERVICES



ELEVATION C.

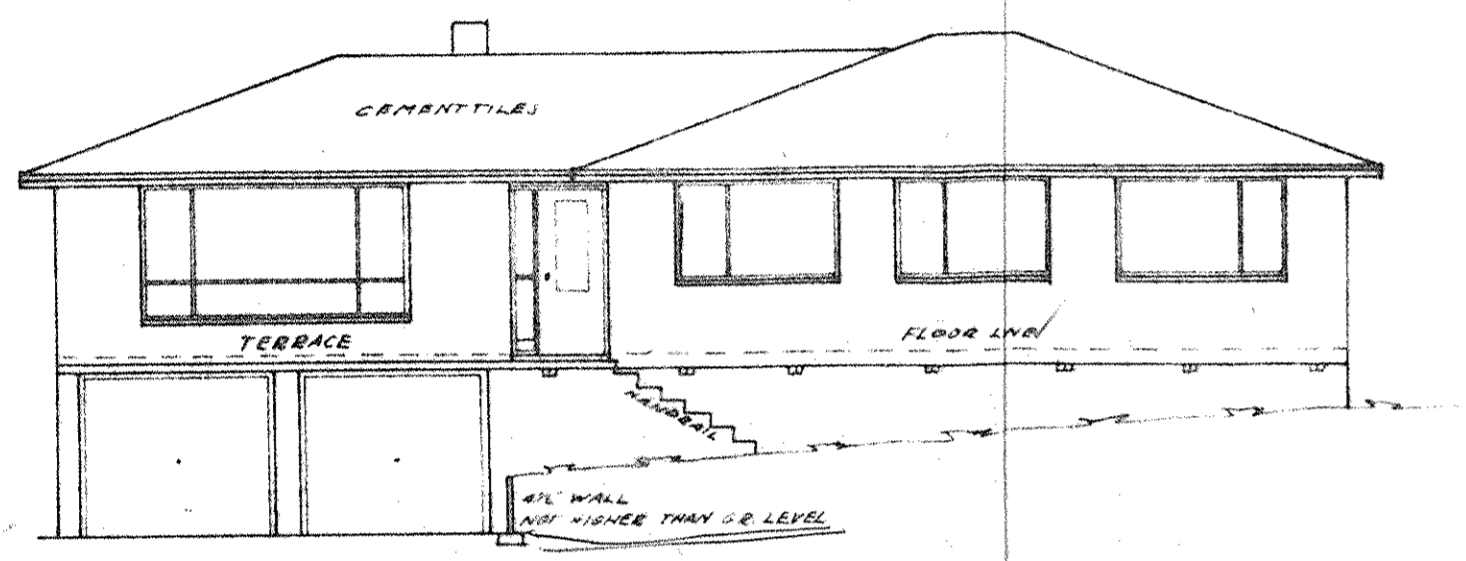


ELEVATION B.

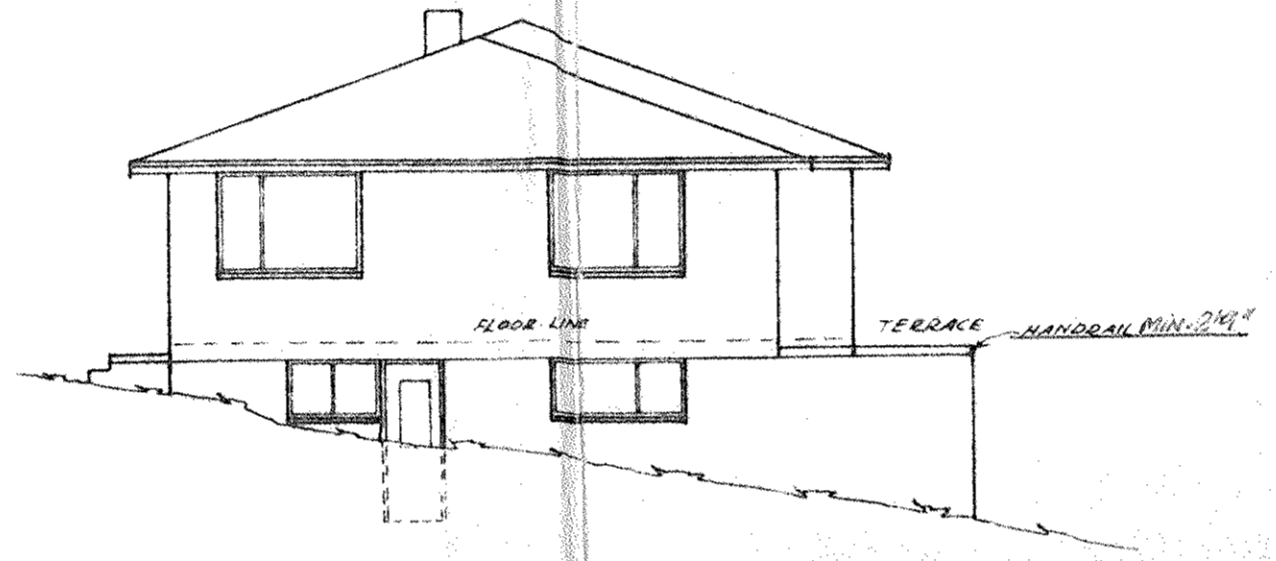


SECTION X-X

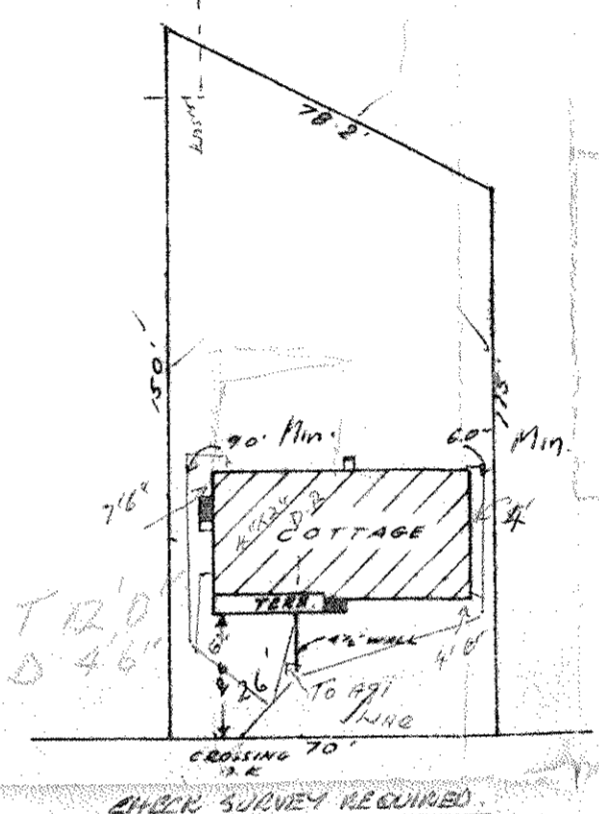
BUILDING TO BE CONSTRUCTED IN ACCORDANCE WITH THE CANBERRA BUILDING REGULATIONS AND S.A.4 CODES OR AS DIRECTED.



ELEVATION A.



ELEVATION D.

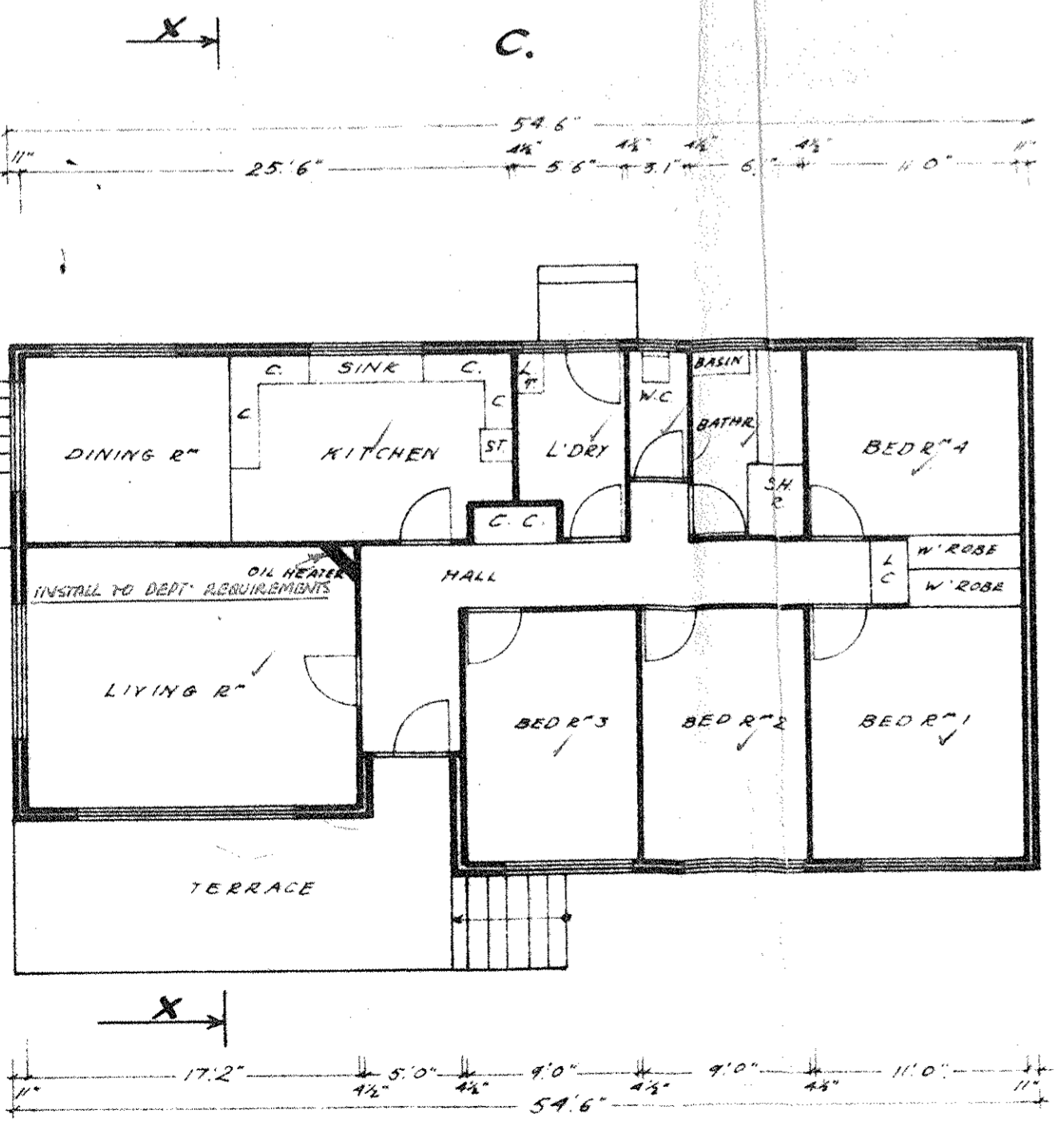


SITE PLAN
SCALE 1/4" = 1'-0"

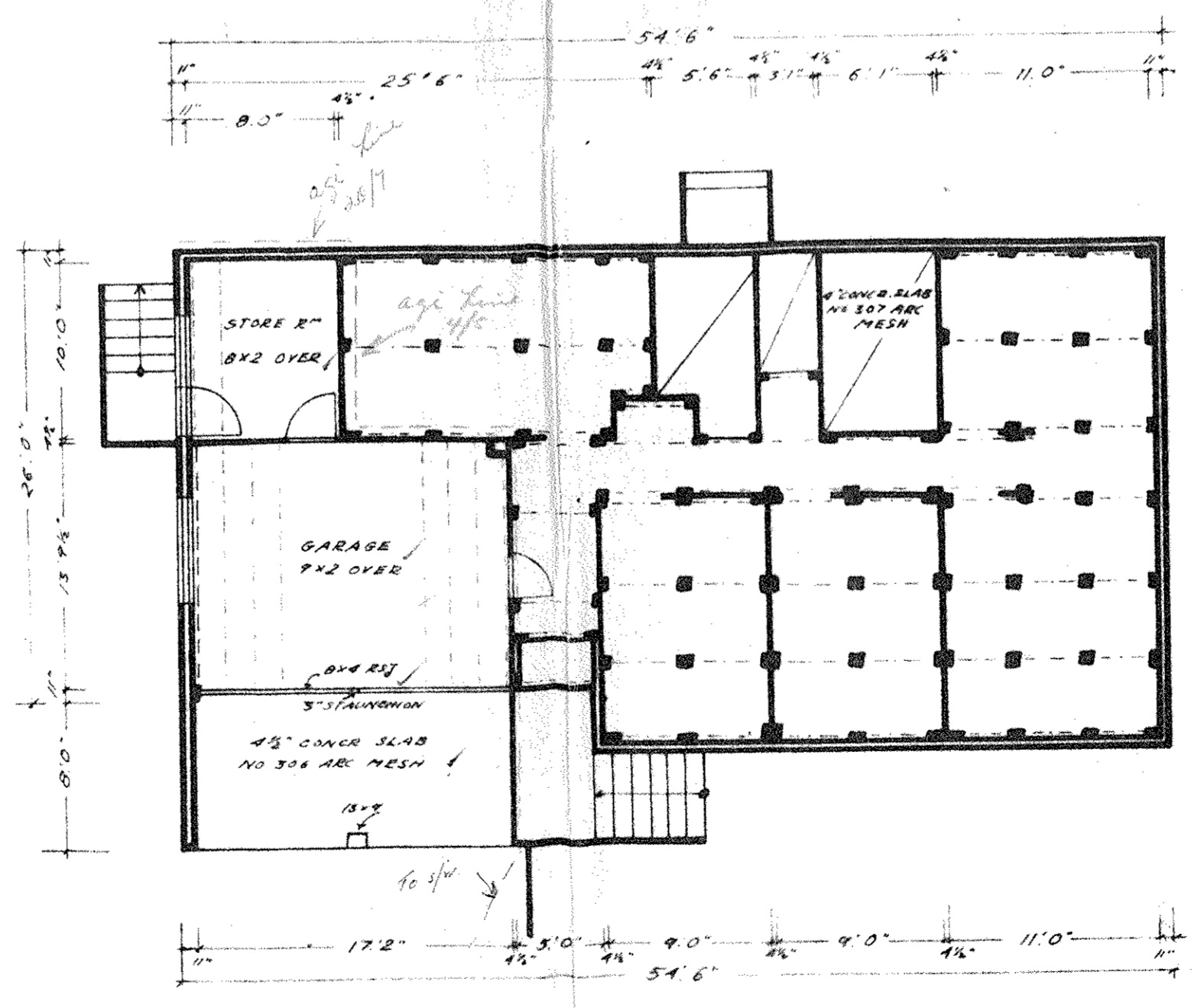
APPROVED BY NATIONAL CAPITAL DEVELOPMENT COMMISSION AS TO DESIGN AND SITING
13/1/65

APPROVED BY THE ACTING CHIEF ENGINEER
14/1/65
APPROVED BY THE ACTING CHIEF ENGINEER
22 JAN 1965

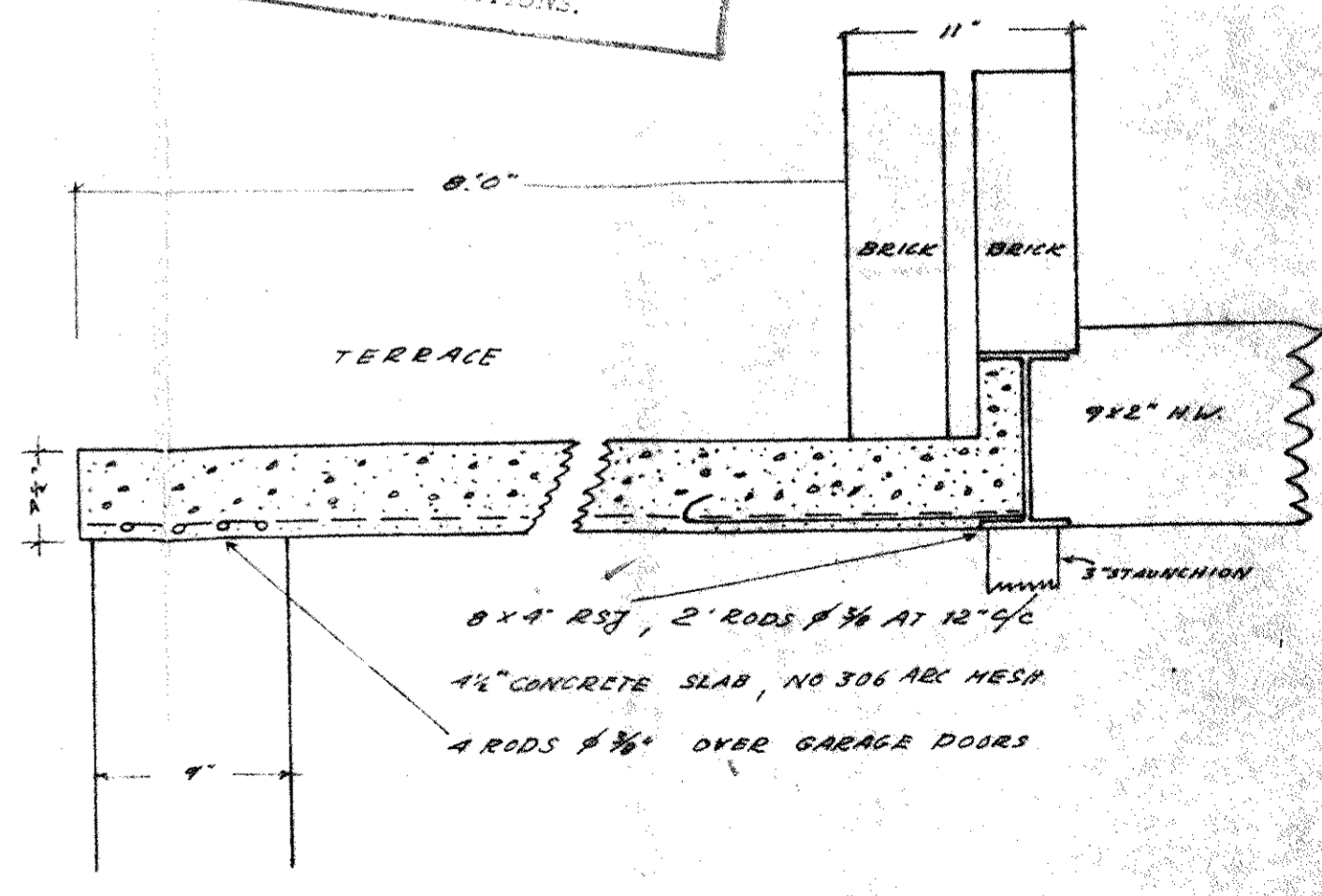
APPROVAL SUBJECT TO COMPLIANCE WITH THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS.



PLAN A.



FOUNDATION PLAN



TERRACE OVER GARAGE
SCALE 1/4" = 1'-0"

Australian Capital Territory

Building Ordinance 1964-69

Canberra Building Regulations

CERTIFICATE AS TO FITNESS FOR OCCUPANCY AND USE

I certify that a BRICK ADDITIONS TO RESIDENCE
on Block 14 of Section 3 at HUGHES
is fit for occupation and use.

Plan No. 10 537 / B

Permit Holder M. CHALISA

Lessee G. A. & A. V. JENKINS

[Signature]
.....
Deputy Proper Authority
3. 2. 76
.....
Date

10121

CERTIFICATE OF FITNESS
(Class I and X Occupancy Only)

ADVICE TO	Name of Permit holder	Address
	Name of Lessee	Address

J.M. & A.V. Juregini

It is hereby certified that the building consisting of Metal Carport
situated on Block 14 Section 3 in the Canberra Division of Hughes /or
situated at for which plans and specifications were approved and a building permit issued under the
provisions of the Building Ordinance 1972, is fit for use and/or occupation.

Type of construction * <u>4</u>	Class of occupancy * <u>10</u>	Number of storeys
Permit No. <u>13324</u>	* as defined in the Building Manual A.C.T.	
Approved Plan No. <u>10537/c</u>		

311173

OFFICE COPY

[Signature]
Deputy Building Controller

BOGDY & COLLIN PLY. LTD. S/2

254 BEASLEY ST., PARKER. P.O. BOX 328 FENWICK.

Plan File No. 10637/C
Received Building Section
17 OCT 1972
Dept. of Interior

Proposed siting for a garage/carpport ~~unit~~ to be created for

Mr. G.M. JEROGIN of 43 GLASGOW ST.

on Block 14 Section 3 Suburb HUGHES

Site 14' x 8'-8" = 7'

Builder to erect unit and SURVEY IF REQUIRED

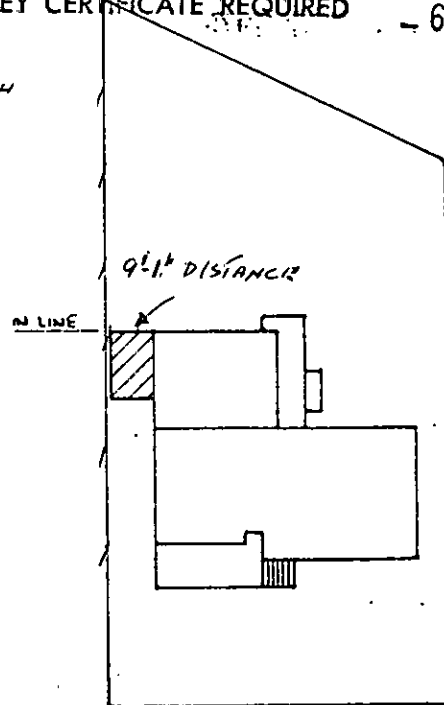
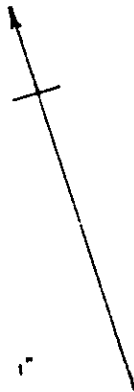
Owner to level and prepare site, Encase stormwater and/or
sewerage line if found to be necessary.

BUILDINGS (DESIGN AND SITING)
ORDINANCE 1964 AS AMENDED
APPROVAL GRANTED 31 OCT 1972
DELEGATE *John J. Butler*
NATIONAL CAPITAL
DEVELOPMENT COMMISSION

NO SURVEY CERTIFICATE REQUIRED - 6 NOV 1972

NO PORTION OF CARPORT TO ENCRADCH
ON ADJOINING PROPERTY,

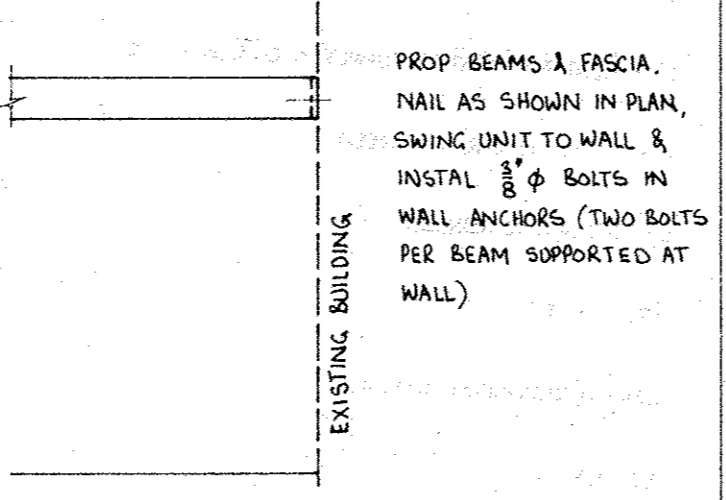
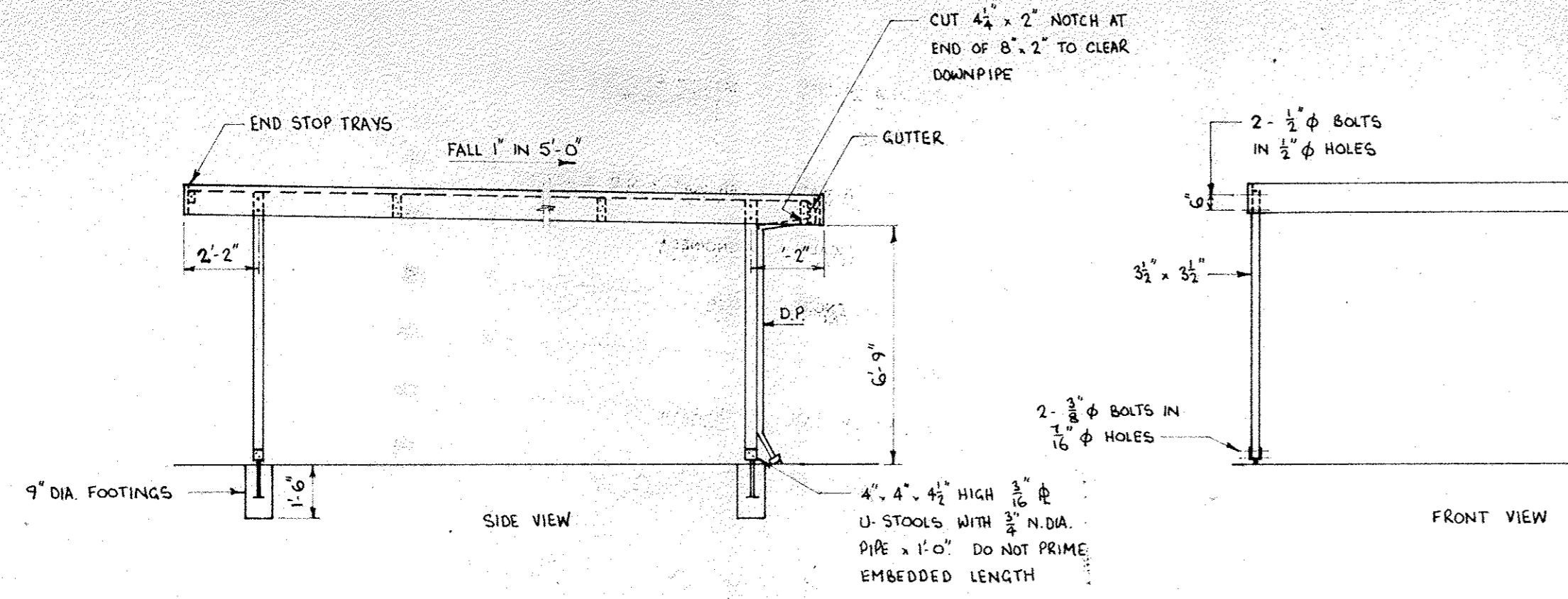
SCALE: 40' TO 1"



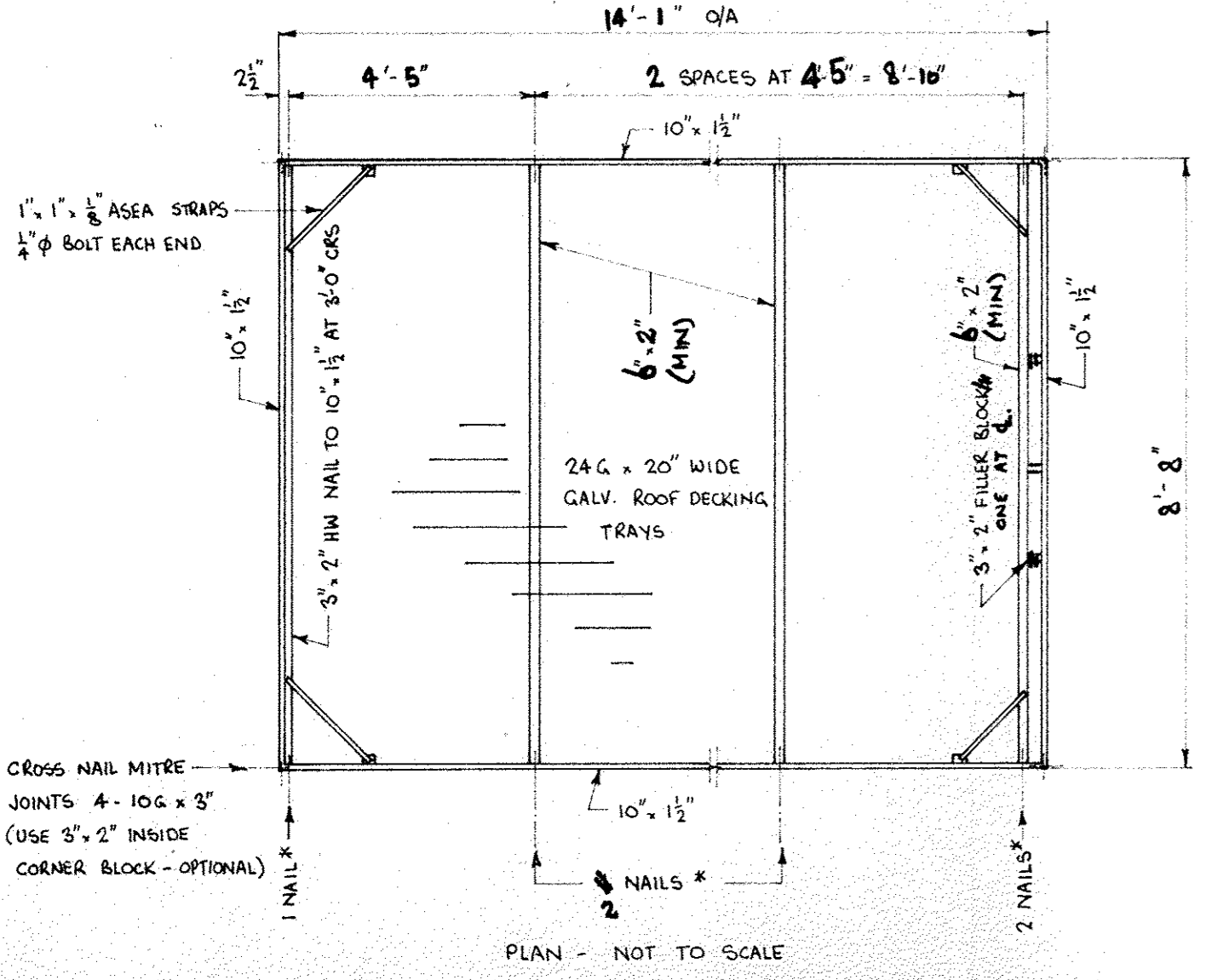
GLASGOW STREET

10537/c
 Revised Building Section
 17 OCT 1972
 Dept. of Interior

S1/2



✓ ALTERNATIVE - ATTACH TO EXISTING BUILDING AND OMIT POST(S) AT BUILDING.
 NOTE: DEFLECTIONS LIMITED TO 1/360 SPAN.
 FOOTINGS TO REMAINING POSTS TO BE 1'-4" SQ.



BUILDINGS (DESIGN AND SITING)
 ORDINANCE 1964 AS AMENDED
 APPROVAL GRANTED 31 OCT 1972
 TEL. DATE *John H. J. Butler*
 NATIONAL CAPITAL
 DEVELOPMENT COMMISSION

- NOTES:
1. CONNECT DOWNPIPE TO EXISTING STORMWATER.
 2. CONSTRUCTION IN ACCORDANCE WITH CANBERRA BUILDING REGULATIONS.
 3. DESIGN LOADS TO AS CA 34 PARTS I & II WIND CATEGORY 3
 4. DESIGN IN ACCORDANCE WITH CSIRO TIMBER ENGINEERING HANDBOOK. DEFLECTION $\leq 1/180$ SPAN.
 5. TIMBER TO BE ROUGH SAWN OREGON SELECT MERCHANT GRADE UNLESS NOTED. SIZES TO BE NOT MORE THAN 3/8" SCANT.
 6. * STRUCTURAL NAILED JOINT EACH END - NAILS 7G x 4 1/2 MIN. HOLES MAY BE PREDRILLED 1/8" DIA. NUMBER SHOWN ARE MINIMUM WITHOUT SPLITTING.

COPYRIGHT
 DR. G.M. JEROMIN BLOCK 14 SECTION 3 HUGHES
 PROPOSED TIMBER FRAME CARPORT
 MANUFACTURED BY BODDY & COLLIN PTY. LTD. PO. BOX 328 Fyshwick ACT.
 PH. 862072, 861745
 CONSULTING ENGINEER PH. 511148
 SCALE 1/4" = 1'-0" GR4



Department of the Capital Territory
Building Section

9/6/76

9 3 76 1 1 7 6 K Form 42 1.0.0 R 74

Australian Capital Territory
Building Ordinance 1972

Regulation 21

APPLICATION FOR APPROVAL OF PLANS AND SPECIFICATIONS

9 3 76 1 1 7 6 K Form 42 1.0.0 R BL/6(3/73)

Name of Applicant <i>B. C. RAYNER.</i>	Address (Show P.O. Box No. if any) <i>4- A.C.T. SWIMMING POOLS P.L. 31 HIGH STREET, QUEANBEYAN.</i>
---	--



Name of lessee/owner of parcel of land <i>G.M. JEROGIN</i>	Address <i>43 GLASGOW ST. HUGHES, A.C.T.</i>
---	---

Description of land on which the building work is to be carried out.	Block <i>14</i>	Section <i>3.</i>	Division <i>HUGHES</i>
To be specified in accordance with the appropriate classification in the Building Manual.	Type of Construction <i>FIBRE GLASS BELOW GROUND SWIMMING POOL</i>		Cost <i>\$ 4,200.00</i>
	Class of Occupancy		Total Floor Area where applicable

This application is for:-
(Please tick (✓) appropriate box)

New work
 Amendment to approved plan
 Amendment to plan not yet approved

I hereby apply for approval of the attached plans and specifications.

7/6/76.
Date

[Signature]
Signature of Applicant

To be completed if application made otherwise than by the lessee/owner, his solicitor or architect.

I hereby authorise the abovenamed applicant of the address indicated to make this application on my behalf.

28/5/76
Date

[Signature]
Signature of lessee/owner

LESSEE/BUILDER RESPONSIBLE FOR CORRECT SITING

\$ 4,200 FOR OFFICE USE ONLY	Squareage for Fees	Plans Numbered <i>10537/D</i>	Building Covenant <i>\$ Swimming Pool</i>
	Total Fees Payable <i>\$ 21.00</i>	Plans <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Not approved	
	Receipt/Docket No.	<i>R J Pley 24/6/76</i> Date (Deputy Building Controller)	

A.C.T. Swimming Pools Pty. Ltd.

MANUFACTURERS AND DISTRIBUTORS OF FIBREGLASS PRODUCTS

PROPOSED 8.5 m x 3.7 m.

FIBREGLASS BELOW GROUND SWIMMING

POOL FOR: MR G. JERGIN,

43 GLASGOW STREET.

HUGHES.

31 High Street, Queanbeyan N.S.W. 2620

Telephone: 97 3722 - 97 3966

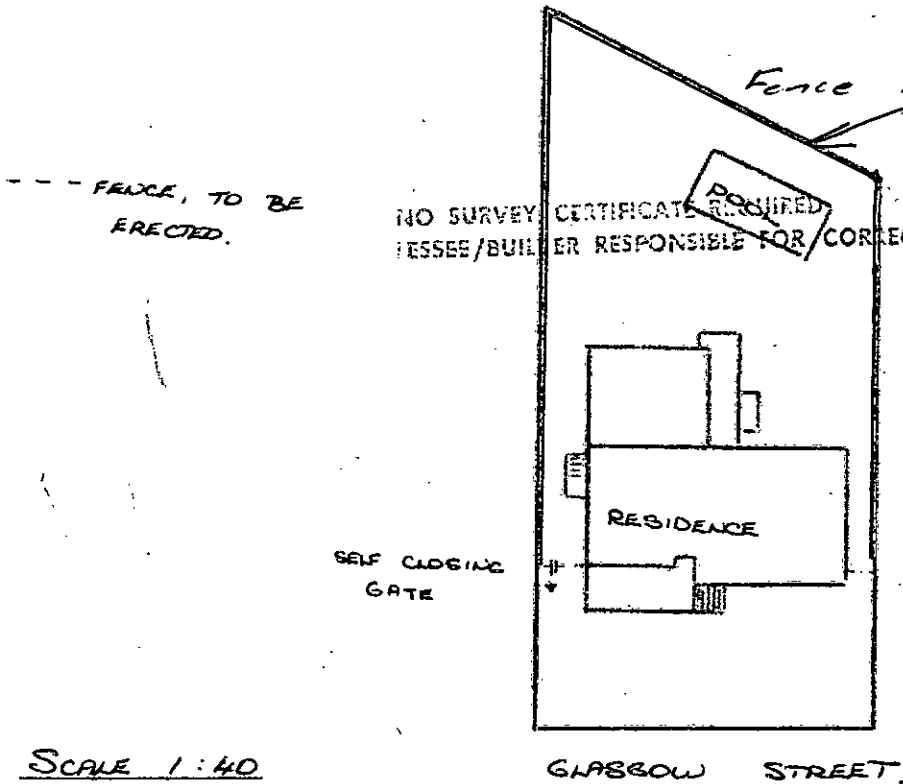
A/H 86 4935

PLAN FILE No. 10 537/D

Received Building Section

- 9 JUN 1976 S/Z

Dept. of the Capital Territory



BUILDINGS (DESIGN AND SITING)
ORDINANCE 1964 (AS AMENDED)
APPROVAL OF

17 JUN 1976

DELEGATE

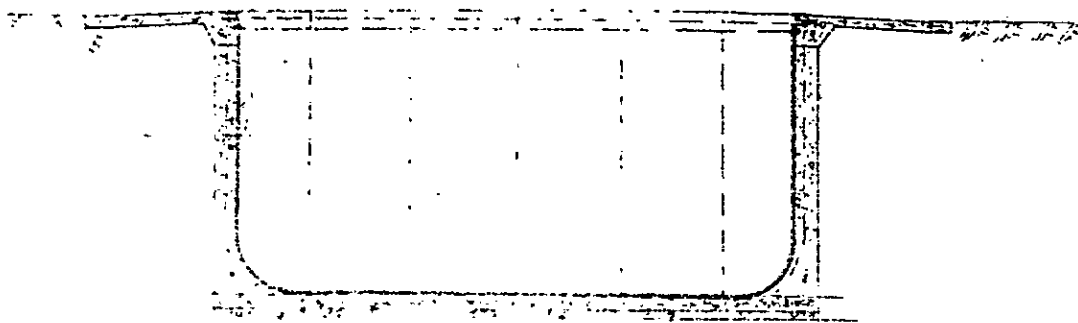
NATIONAL CAPITAL
DEVELOPMENT COMMISSION

SCALE 1:40

BLOCK 14

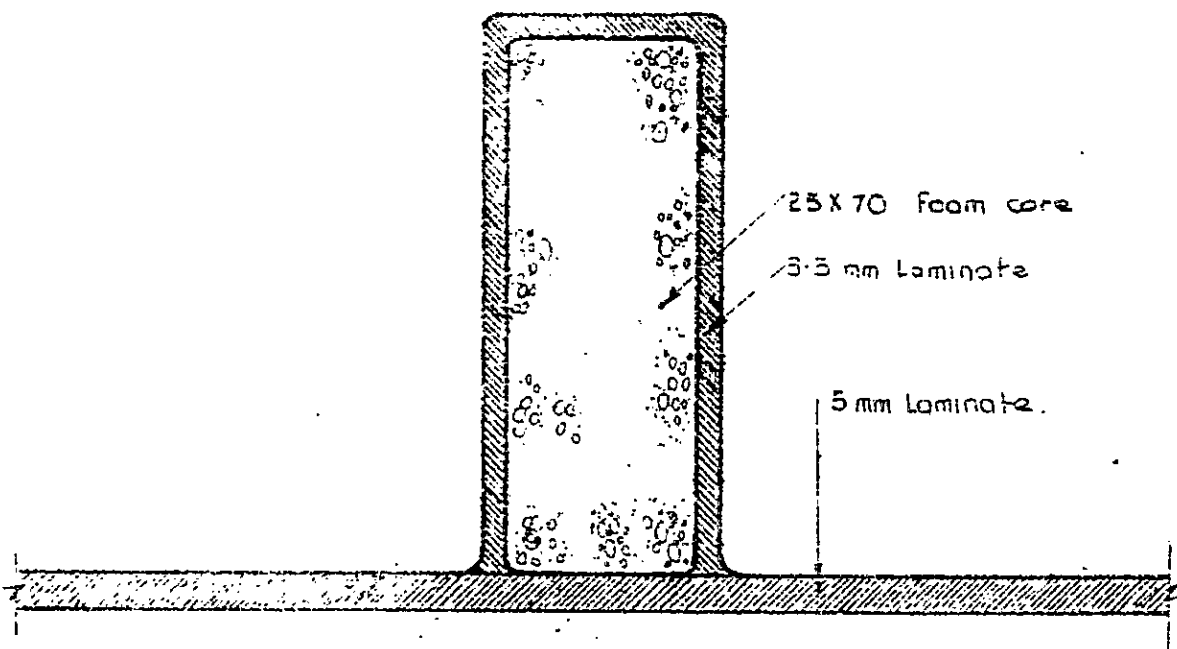
SECTION 3

HUGHES.



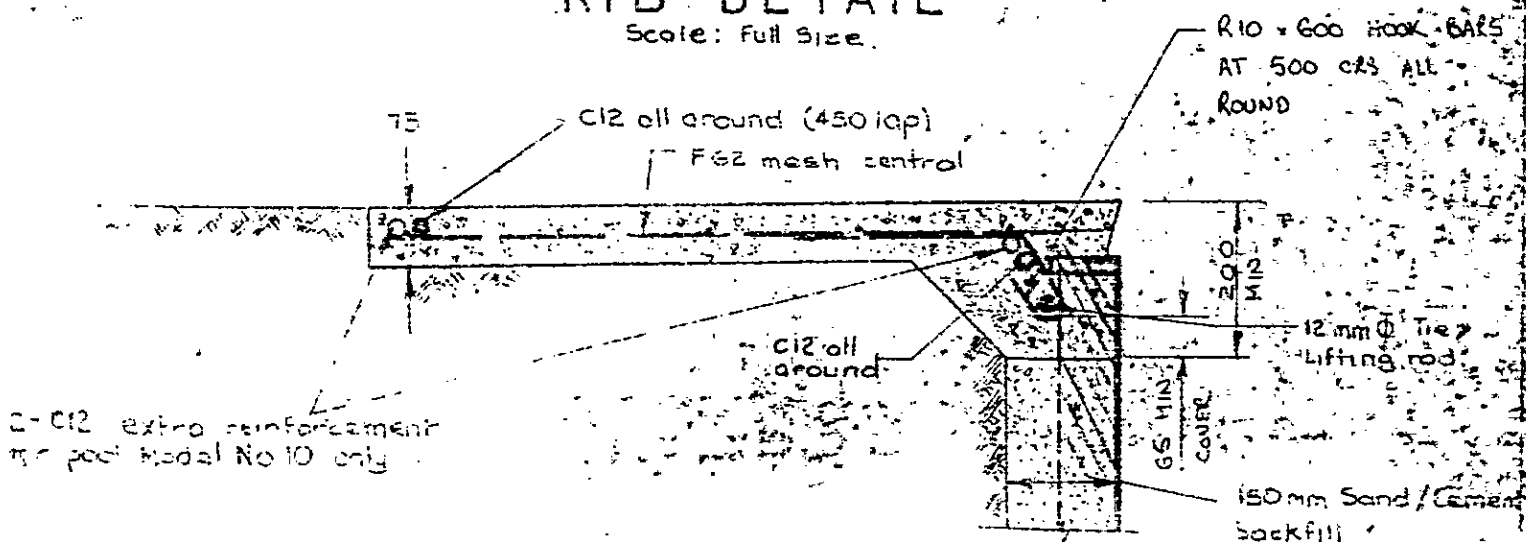
SECTION B-B

Scale: 1/50



RIB DETAIL

Scale: Full Size.



PAVING DETAIL

CERTIFICATE OF FITNESS

(CLASSIFIED AND X OCCUPANCY ONLY)

BL1/8(9/75)

It is hereby certified that the building consisting of Fibreglass Swimming Pool

situated on

Block 14	Section 3	Division Hughes
or situated at		

for which plans and specifications were approved and a Building Permit issued under the provisions of the Building Ordinance 1972, is fit for use and/or occupation.

Approved plan no.

10537/E

Type of construction*

Class of occupancy*

Number of storeys

Permit no.

19403

Name of permit holder

T.P. Bradley

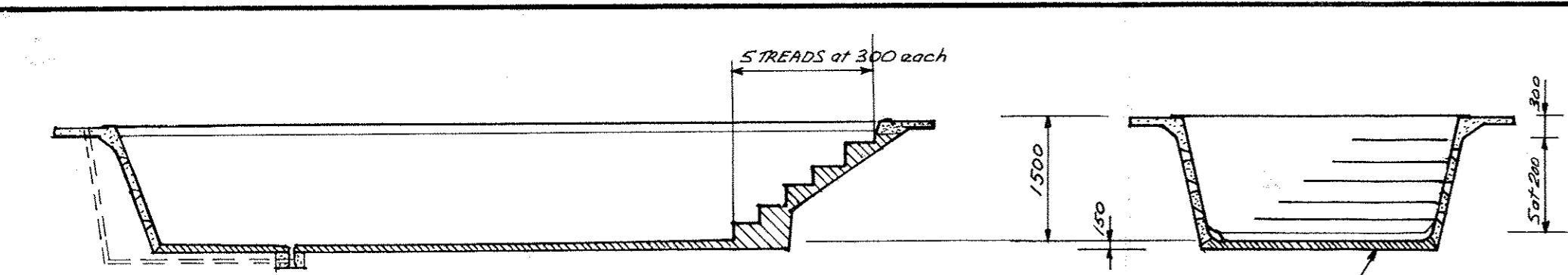
*As defined in the Building Manual
A.C.T.

No

33560

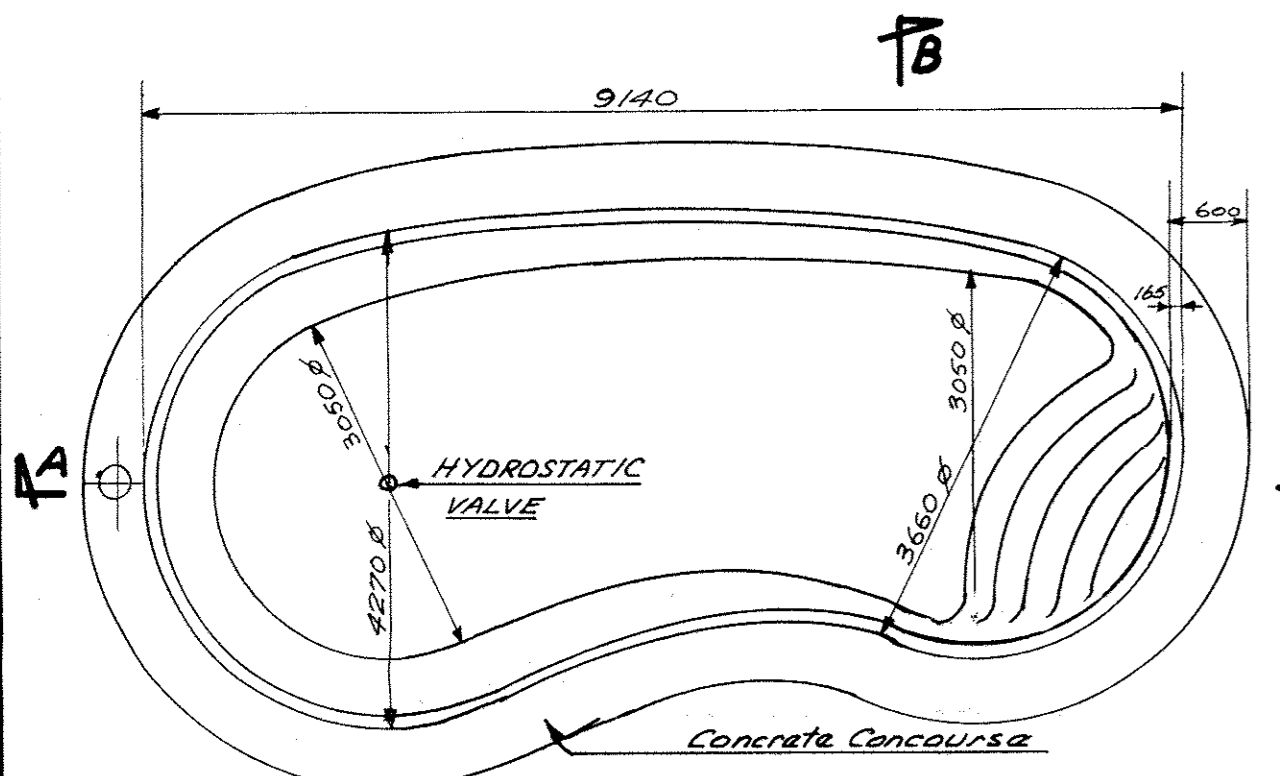
N.F. Boas
Deputy Building Controller

10.11.77

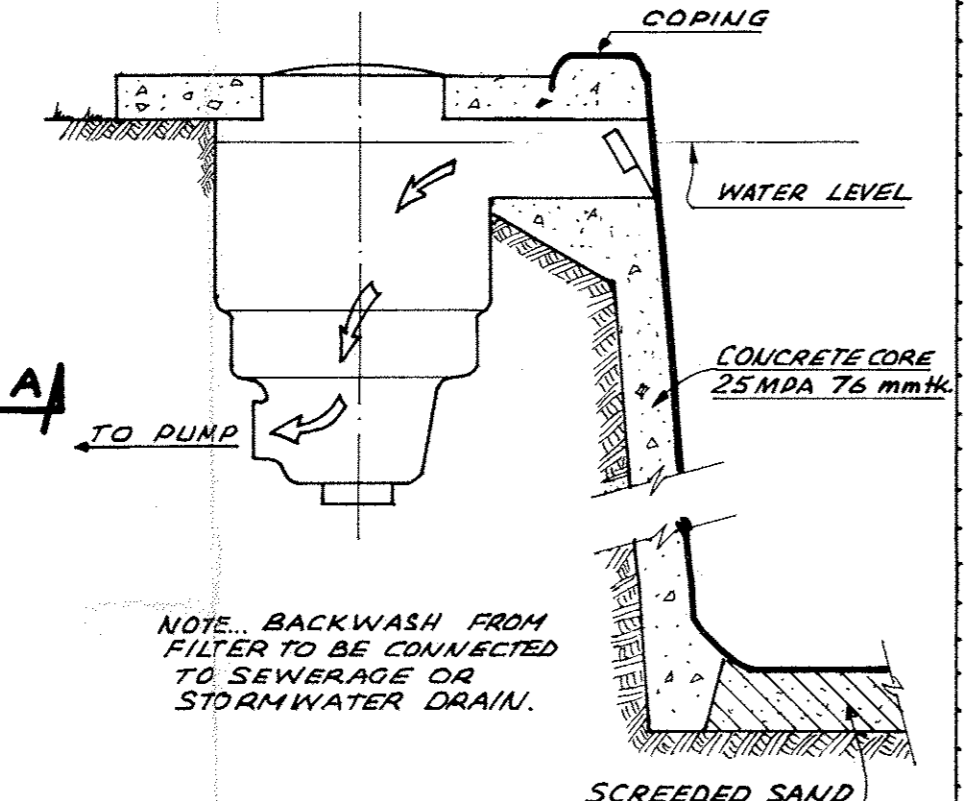


SECTION A-A

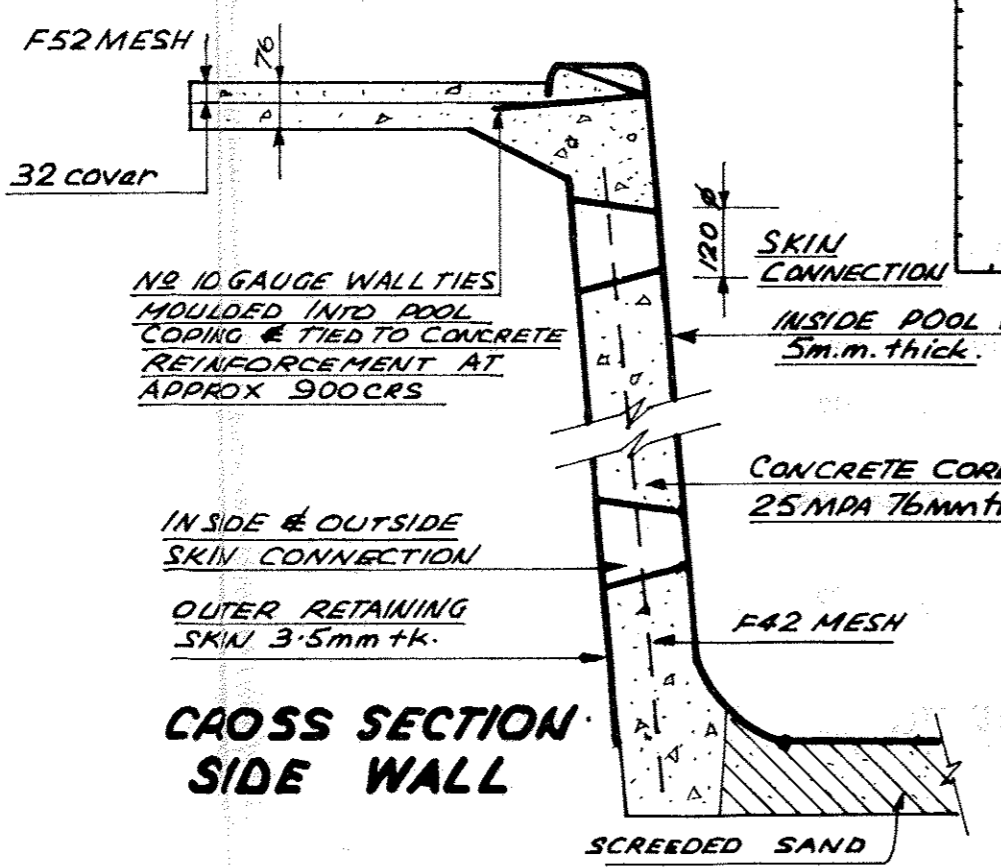
SECTION B-B



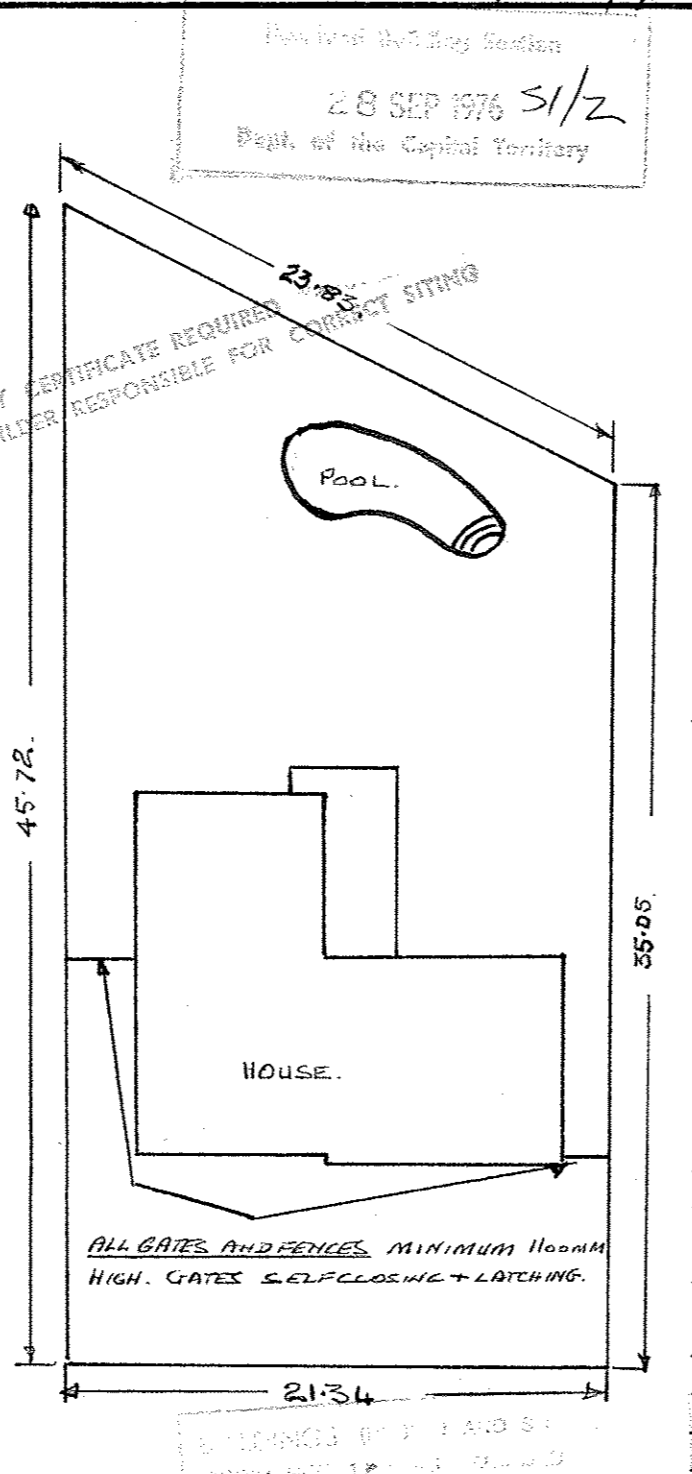
PLAN



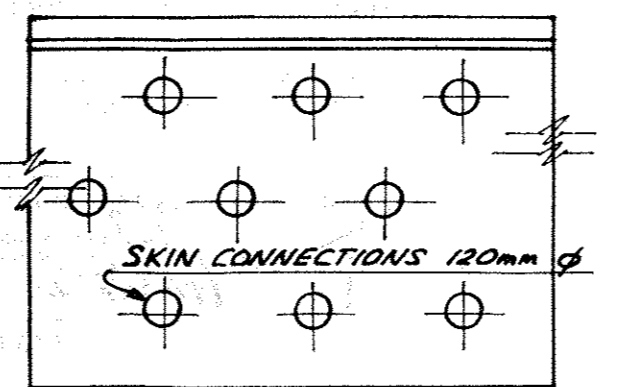
SKIMMER BOX DETAIL



CROSS SECTION SIDE WALL



BLOCK PLAN



ELEVATION BACK WALL SECTION (OUTER RETAINING SKIN)

TECHNICAL DATA "THE KIDNEY"
 PROPOSED FIBREGLASS SWIMMING POOL
 FOR DR & MRS G.M. JERIGOW, Block 14 SECTION 3, HUGHES A.C.T.

SPECIFICATION:
GENERALLY: The builder shall comply with the requirements of all relevant Local Government Authorities.
EXCAVATION: Excavate for Pool shell allowing 152mm thickness of sand & gravel. Place & compact sand base to provide an even support for the shell.
DRAINAGE: If the basin of the Pool is formed in rock or other impervious material a drain is to be constructed from the lowest point to an outlet open to the atmosphere. *Foot: Clean up area around*
 A hydrostatic valve must be fitted to all pools.
MANUFACTURE: To minimum requirements of draft SAA CODE DR 74.054.
CONCRETE: Construct concrete core as shown in sidewall section. Concrete to be 25mpa. Construct concrete surround 600mm x 76mm thick under coping. Reinforce with F52 mesh. Concrete to be 15mpa at 28 days with 76 slump. Finish surface with wood float. Clean up area around pool & leave area in a tidy condition.
FILTER INSTALLATION: Install a skimmer box central control unit & suitable diatomaceous earth filter. Connect with 38mm dia. high pressure PVC pipes and fittings to all suction and return lines.
NOTE: This pool type has been examined & reported on. Copy available on request.

DESIGNED, MANUFACTURED AND SUPPLIED BY: **DURA POOLS PTY. LTD.** (VIA WALLONGONG)
 4 PRINCES HWY, YALLAH, N.S.W. 2530. PHONE 042-563066.

BUILDER: T.P. BRADLEY, 14 RABWAY ST YARRALUMLA A.C.T. PHONE 212141
ENGINEER: A.S. JAMES, 151 E. MUST
DRG. NO.: 513
DATE: 26.9.76.
SCALE: 15mm=1m.
DRAWN BY: DURA POOLS PTY. LTD. ENGINEERING DIVISION.

Note: All sizes approximate only.

SCALE: 1-300. 30 SEP 1976

APPROVAL GRANTED
 LOCAL GOVERNMENT COMMISSION

NO SURVEY CERTIFICATE REQUIRED
 LESSOR/BUILDER RESPONSIBLE FOR CORRECT SITING

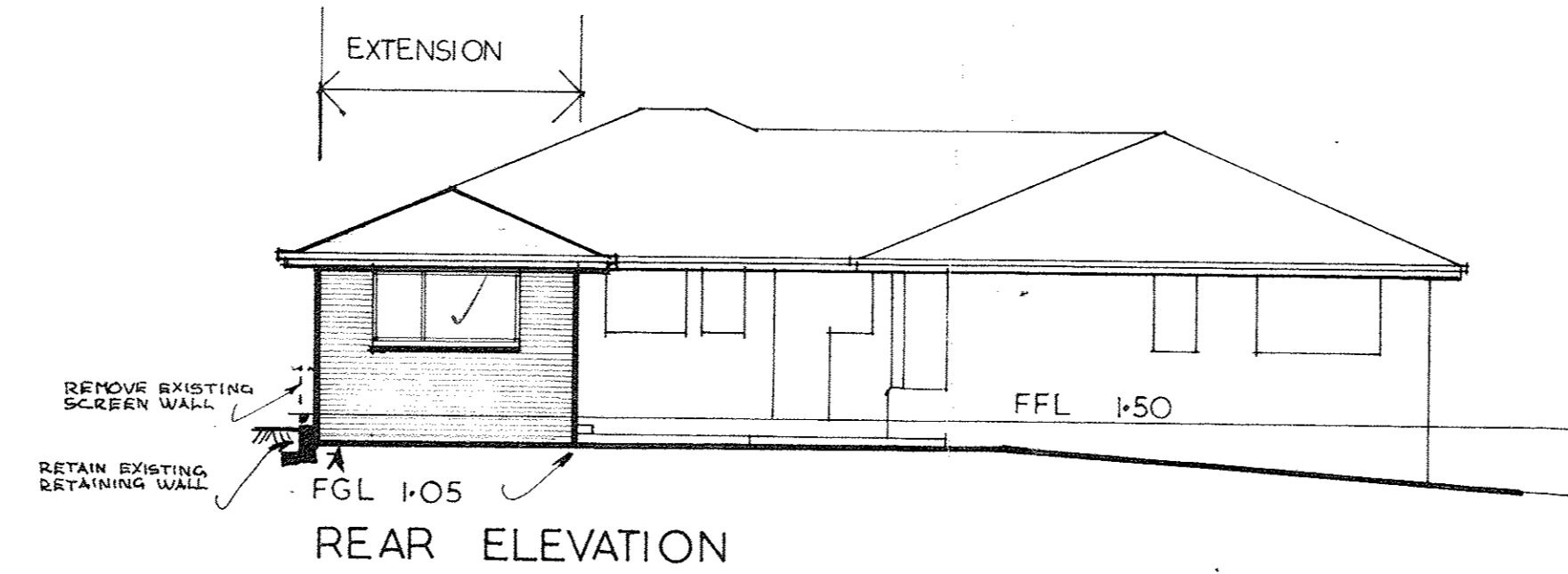
28 SEP 1976 51/2
 Dept. of the Capital Territory

10537/E
 40537/K

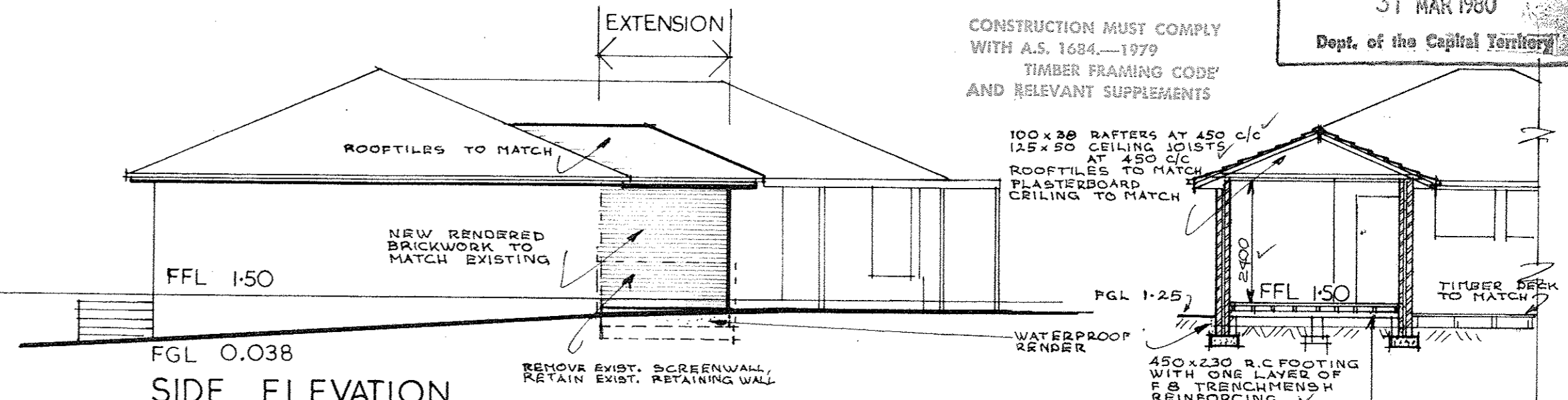
"FULL SPECIFICATIONS WILL BE REQUIRED TO BE SUBMITTED IF PERMIT IS APPLIED FOR BY OWNER-BUILDER".

PLANS/FILE No. 10-537/F
 Received Building Section
 31 MAR 1980
 Dept. of the Capital Territory

51/2



REAR ELEVATION

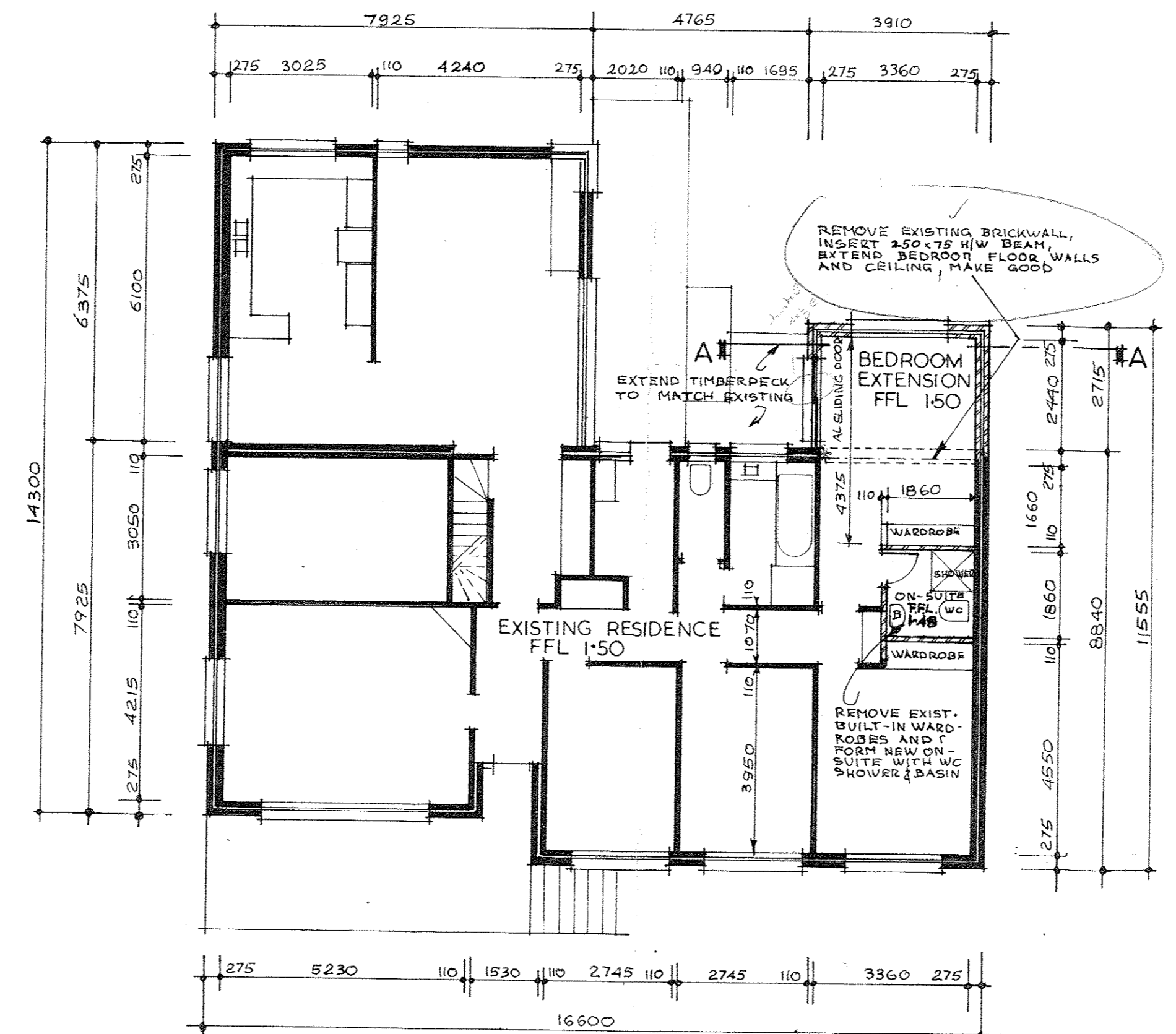


SIDE ELEVATION

CONSTRUCTION MUST COMPLY WITH A.S. 1684-1979
 TIMBER FRAMING CODE AND RELEVANT SUPPLEMENTS

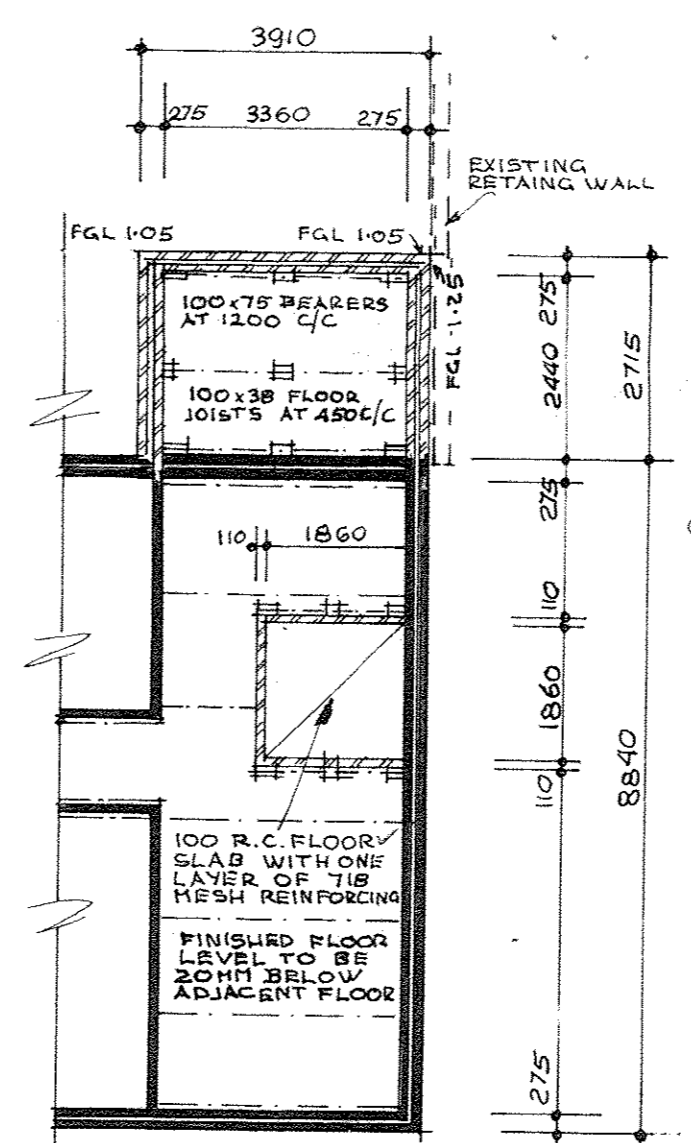
FOOTINGS TO BE TAKEN DOWN TO SOLID GROUND

SECTION A - A



FLOOR PLAN

SCALE 1:100

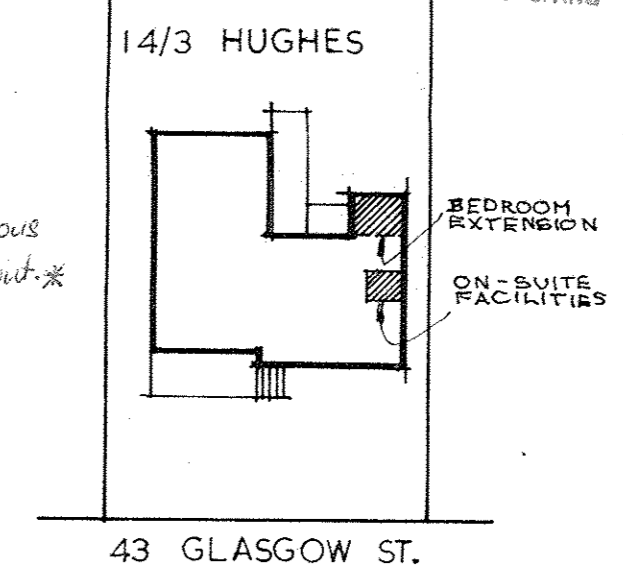


PART LOWER FLOOR PLAN

BUILDINGS (DESIGN AND SITING)
 ORDINANCE 1964 AS AMENDED
 APPROVAL GRANTED
 -3 APR 1980
 DELEGATE *[Signature]*
 NATIONAL CAPITAL DEVELOPMENT COMMISSION

APPROVED FOR CONSTRUCTION BY THE HOLDER OF A CLASS "C" LICENCE.
 CLASS OF OCCUPANCY: RESIDENCE I
 OUTBUILDINGS X
[Signature] 14-4-80
 DEPUTY BUILDING CONTROLLER

"NO SURVEY CERTIFICATE REQUIRED."
 LESSEE/BUILDER RESPONSIBLE FOR CORRECT SITING



SITE PLAN SCALE 1:500

BUILDING WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS THE BUILDING MANUAL ACT, THE NOTATIONS MADE ON THE PLANS AND ANY MATTERS SPECIFIED ON THE BUILDING PERMIT. THE APPROVAL OF PLANS OR THE GRANT OF A BUILDING PERMIT DOES NOT AFFECT THE OPERATION OF ANY OTHER LAW IN THE TERRITORY, NOR DOES IT AUTHORISE THE USE OF THE LAND CONTRARY TO A PROVISION, COVENANT OR CONDITION OF LEASE.
 MODIFICATIONS IF APPLICABLE

- LEGEND
- 1 ALL DIMENSIONS TO BE VERIFIED ON JOB
 - 2 TERRAIN CATEGORY 3
 - 3 ALL WORK TO COMPLY WITH ALL RELEVANT SAA CODES THE ACT BUILDING MANUAL AND THE ACT ELECTRICITY AUTHORITY'S REGULATIONS
 - 4 ALL TIMBERWORK TO BE IN ACCORDANCE WITH THE LIGHT TIMBER FRAMING CODE AS 1684-1975
 - 5 ALL NEW WORK TO MATCH ADJOINING AREAS AS CLOSELY AS PRACTICABLE
- FLOOR AREA OF EXTENSION 8.198 M²

EXTENSION OF BEDROOM AND NEW ON-SUITE FACILITIES TO RESIDENCE BLOCK 14, SECTION 3, HUGHES A.C.T. FOR DR. & MRS. G.M. JEROGIN, 43 GLASGOW ST., HUGHES A.C.T.



CERTIFICATE OF OCCUPANCY OR USE

Pursuant to Part V of the Building Ordinance 1972, the building consisting of:

Fireplace

situated at

Block <i>14</i>	Section <i>3</i>	Division <i>Hughes.</i>
or situated at		

is considered to be substantially in accordance with the prescribed requirements for occupancy and use, subject to the endorsements listed below.

Approved plan Nos. <i>10537/G</i>		
Type of construction * <i>5</i>	Class of occupancy * <i>1</i>	(* as defined in the Building Manual A.C.T.)
Permit No. <i>73542</i>	Name of permit holder <i>G. Burke</i>	

Endorsements

.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

The issue of this Certificate does not affect the liability of a person to comply with the provisions of a law of the Territory (including the Building Ordinance) relating to the building work nor does it authorise the use of the land contrary to a provision, covenant or condition of lease.

47669

D. How *15, 7, 85.*
Deputy Building Controller date

10537/0

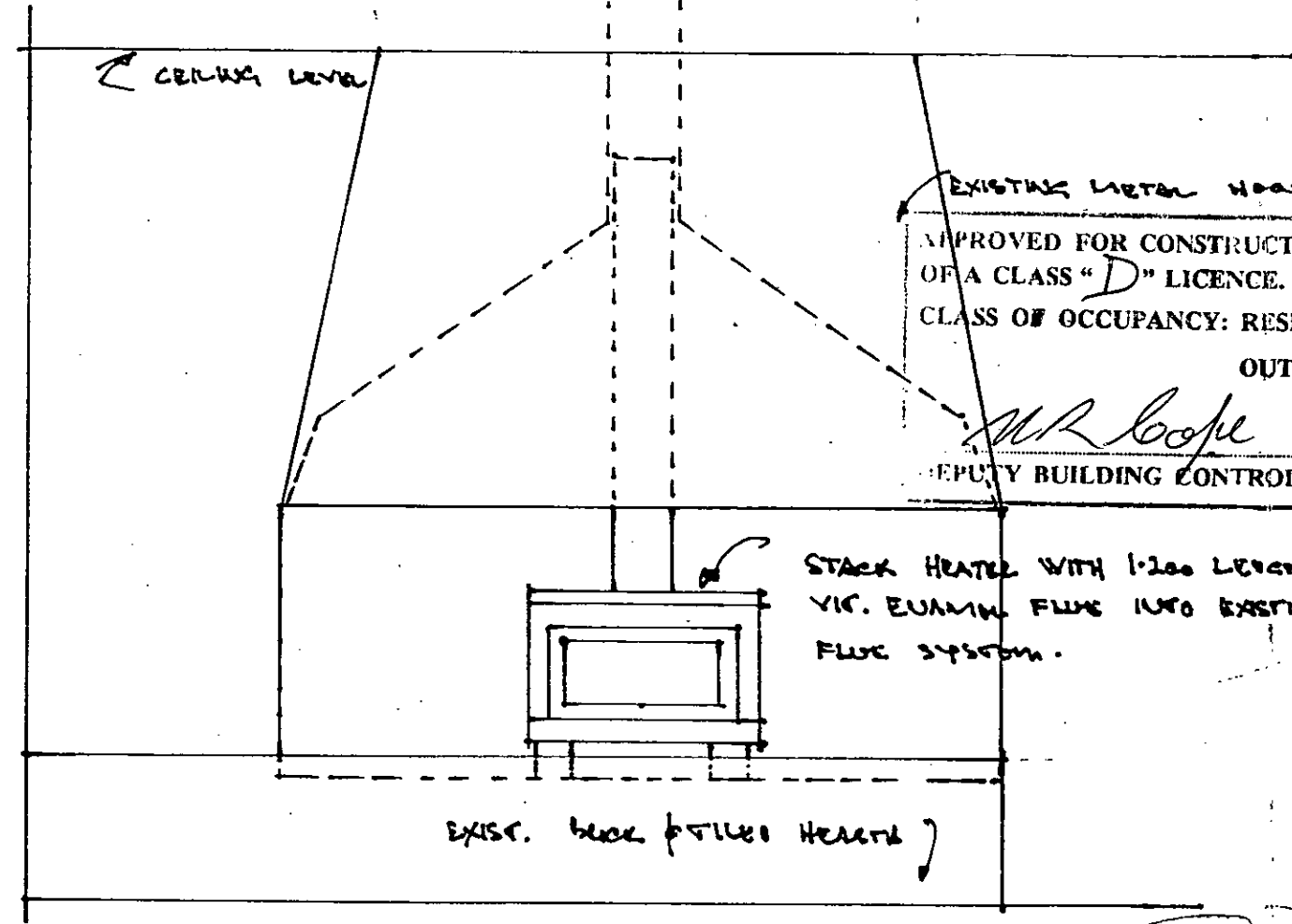
Notes.

METAL STACK VISTA INTO EXISTING OPEN FIREPLACE. APPROVED TO COMPLY WITH MANUFACTURER'S SPECIFICATIONS. TRANSFER OF HEAT INTO TO COMPLY WITH THE ACT WHICH REQUIRES SUCH TO BE ALIGNED.

RECEIVED BUILDING SECTION
26 MAR 1985
Dept. Territories & Local Government

512

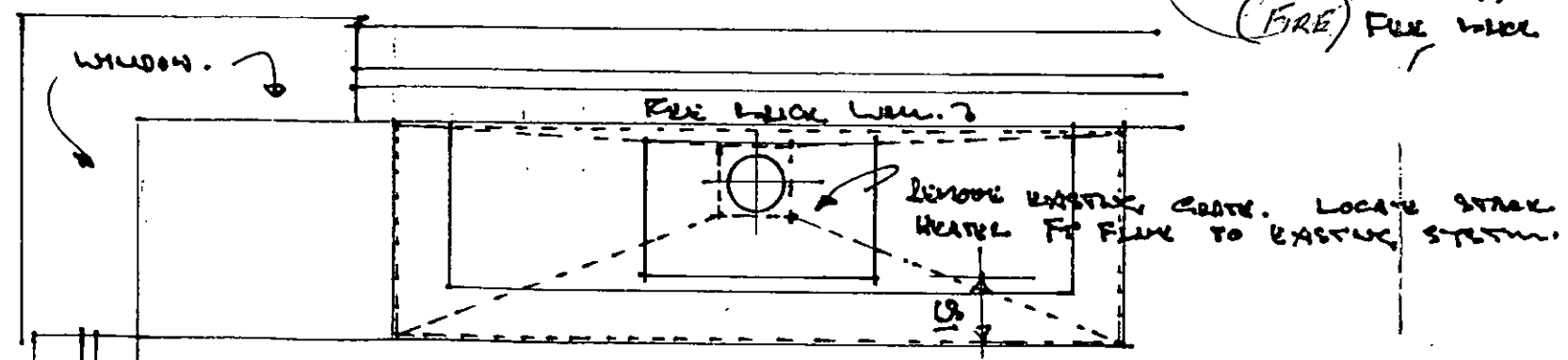
PLANS AND SPECIFICATIONS EXAMINED AND RECOMMENDED FOR APPROVAL BY:
ENGINEER FOR WATER SUPPLY AND SEWERAGE 1/19
CHIEF ELECTRICAL ENGINEER 1/19
STRUCTURAL ENGINEER 1/19



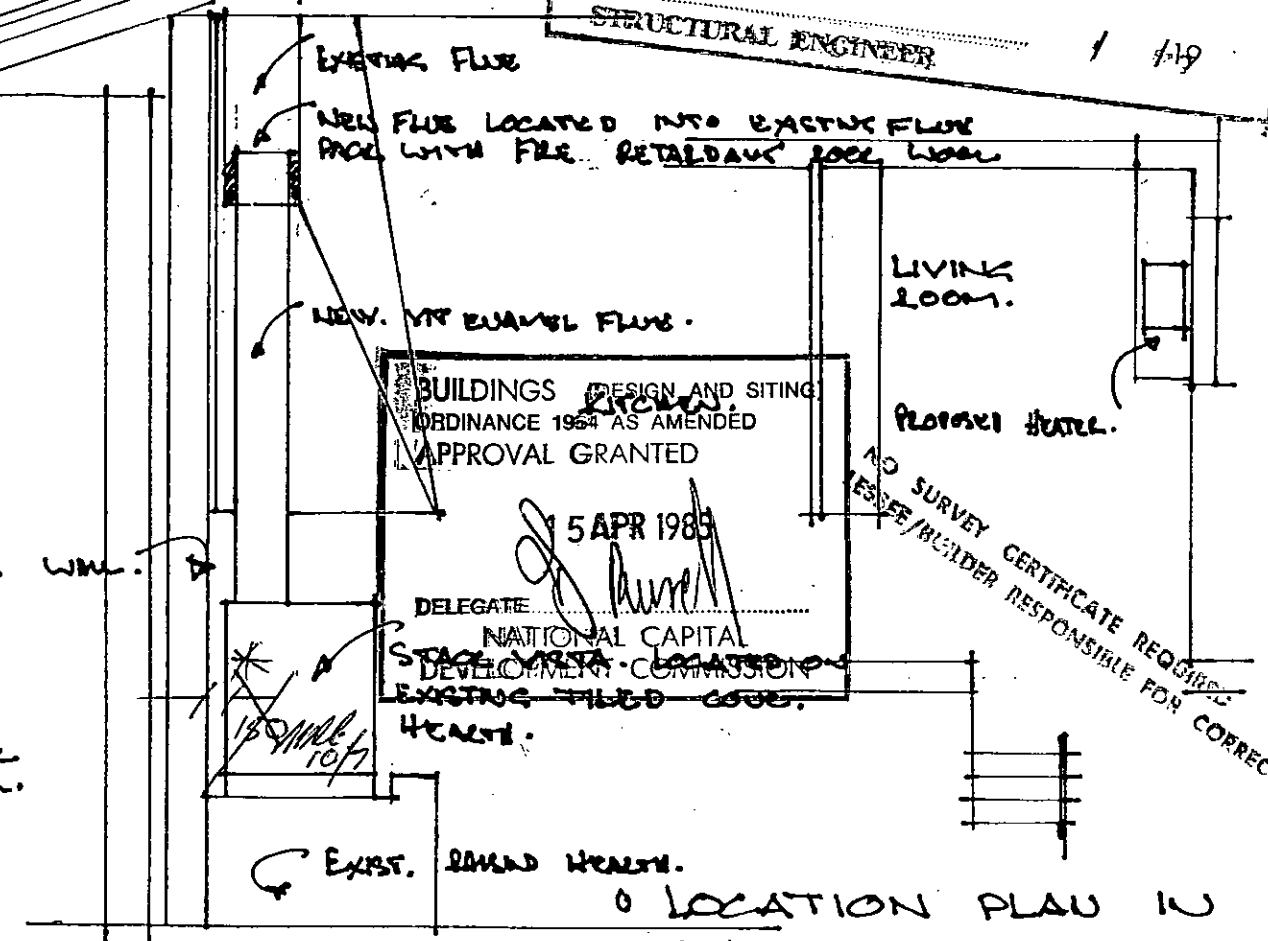
APPROVED FOR CONSTRUCTION BY THE HOLDER OF A CLASS "D" LICENCE.
CLASS OF OCCUPANCY: RESIDENCE I
OUTBUILDINGS X
MR. Boyle
APR. 16 1985
DEPUTY BUILDING CONTROLLER

STACK HEATER WITH 1.2m LENGTH OF VIT. ENAMEL FLUE INTO EXISTING FLUE SYSTEM.

◦ ELEVATION ◦



◦ PLAN ◦ SCALE 1:20.



BUILDINGS DESIGN AND SITING
ORDINANCE 1954 AS AMENDED
APPROVAL GRANTED
15 APR 1985
DELEGATE
NATIONAL CAPITAL
DEVELOPMENT COMMISSION
EXISTING TILED COOR.
HEARTH.

◦ SECTION THROUGH ◦

◦ LOCATION PLAN IN RESIDENCE ◦

PROPOSED STACK VISTA LOCATED INTO EXISTING FIREPLACE AT 4/3 HUGHES ACT. FOR DR & MRS G. NELOGIN 43 GILGON ST. AUCKLAND

CAPITAL SOLAR - FIREPLACES
6/38 Botany St. Phillip 2606
Ph. 82 3511

DWG No 14385

DEPARTMENT OF WORKS

Detail Plan No.

Drainage Plan No. 8764

PLAN OF SANITARY DRAINAGE

FOR

Owner L. LAZICKIBLOCK 14, SECTION 3,DISTRICT: HUGHES

REFERENCE

B.T. Boundary Trap.

G.T. Gully Trap.

D.T. Disconnecter Trap.

G.D.T. Gully Disconnecter Trap.

G.I.T. Grease Interceptor Trap.

S.V. Stop Valve.

S.T. Silt Trap.

C.I.P. Cast Iron Pipe.

G.W.I.P. Galv. Wrought Iron Pipe.

S.P.D. Stoneware Pipe Drain.

I.C. Inspection Chamber.

I.O. Inspection Opening.

E.V. Educt Vent.

I.V. Induct Vent.

S.I.V.P. Soil Induct Vent Pipe.

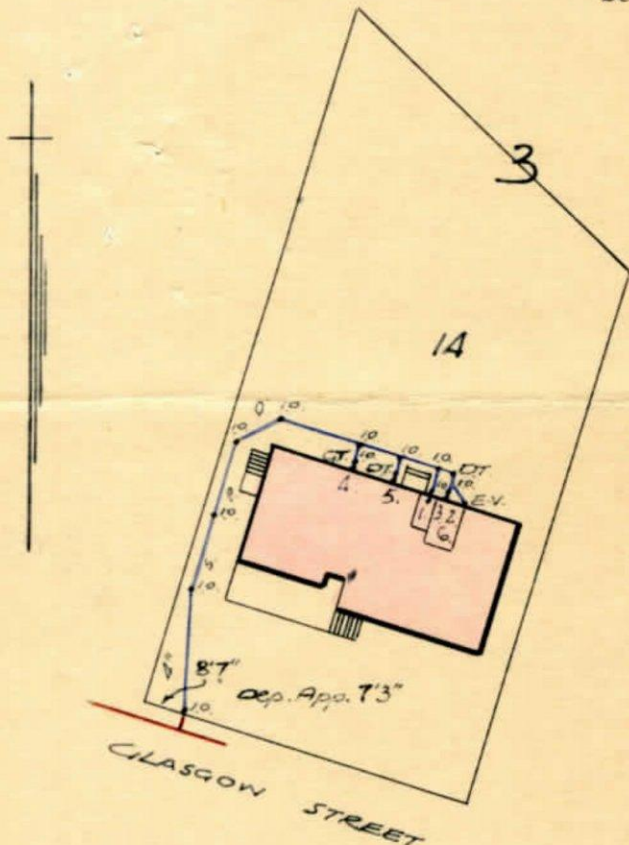
S.V.P. Soil Vent Pipe.

V.P. Ventilating Pipe.

T.I.T. Triple Interceptor Trap.

Scale—40 feet to 1 inch.

(See Regulations.)



—FIXTURES—

1. Closet Internal.
2. Bath.
3. Basin.
4. Sink.
5. Trough.
6. Shower.

CONSTRUCTED DETAIL

SANITARY PLUMBING AND
DRAINAGE WORK TESTED
AND PASSED BY INSPECTORMr. W. B. BurkeDATE 17-12-65

—NOTES—

Drains to be laid are shown in blue lines.
This plan to be read in conjunction with approved architectural
drawings and specification.

Designed by W.M. Todd 11.3.65.

W. B. Burke
Sewerage Engineer

Canberra Nov 12th 1965

PLAN OF SANITARY DRAINAGE

FOR

OWNER: DR. & MRS. G. M. JEROGIN

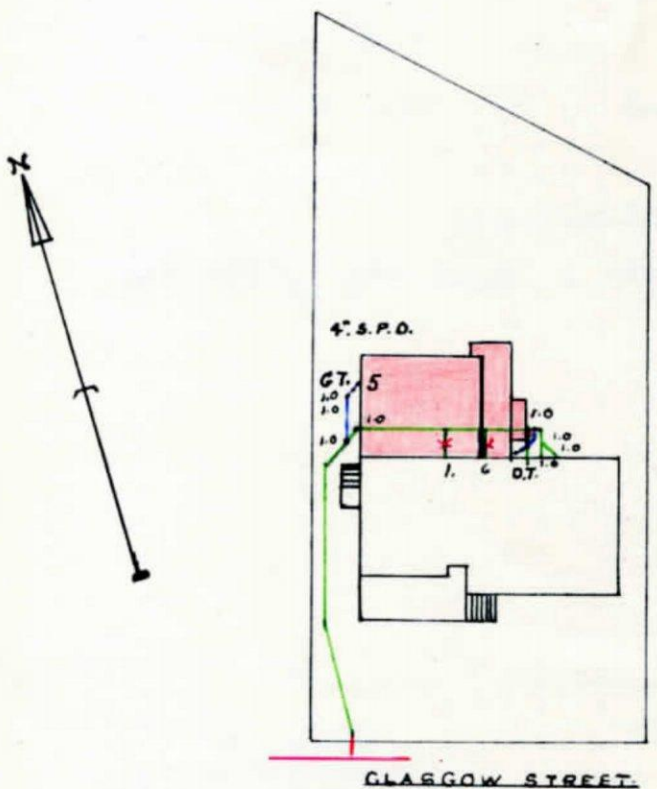
BLOCK: 14 SECTION: 3, HUGHES, A.C.T.

REFERENCE

G.T. GULLY TRAP	S.P.D. STONEWARE PIPE DRAIN	E.V. EDUCT VENT
D.T. DISCONNECTOR TRAP	S.V.P. SOIL VENT PIPE	I.O. INSPECTION OPENING
		SEE REGULATIONS.

SCALE 40 FEET TO 1 INCH

ADDITIONAL WORK - AMENDED DESIGN.



FIXTURES:

- 1. SINK (TO BE ABOLISHED)
- 5. SINK
- 6. TROUGH (EXISTING)

CONSTRUCTED DETAIL
 SANITARY PLUMBING AND
 DRAINAGE WORK TESTED
 AND PASSED BY INSPECTOR
 W. J. *Swing*
 DATE 2-12-69

NOTES:

- DRAINS AS LAID SHOWN IN BLUE LINES.
- EXISTING DRAINS SHOWN IN GREEN LINES.
- EXTENSIONS SHOWN TINTED PINK.
- DRAINS X'ED IN RED TO BE ABOLISHED AND ENDS PROPERLY SEALED.
- EXISTING DRAINS UNDER EXTENSIONS TO BE SURROUNDED WITH 6" CONCRETE.
- THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS AND SPECIFICATIONS.

John Swing
 SEWERAGE ENGINEER
 26th Nov 1969

PLAN OF SANITARY DRAINAGE

DRAINAGE PLAN No. 8764 B

OWNER DR. & MRS. G.M. JEROGIN

BLOCK 1A SECTION 3 HUGHES A.C.T.

REFERENCE

D.T. Disconnecter Trap	S.P.D. Stoneware Pipe Drain	I.C. Inspection Chamber	F.T. Floor Trap
E.V. Educt Vent	C.I.P. Cast Iron Pipe	M.H. Man Hole	S.V.P. Soil Vent Pipe
G.T. Gully Trap	I.O. Inspection Opening	V.P. Ventilating Pipe	V.R. Vertical Riser
J.U. Jump Up	F.P. Fixed Point	E.J. Expansion Joint	

NOTE: All work to be executed in accordance with Canberra Sewerage & Water Supply Regulations

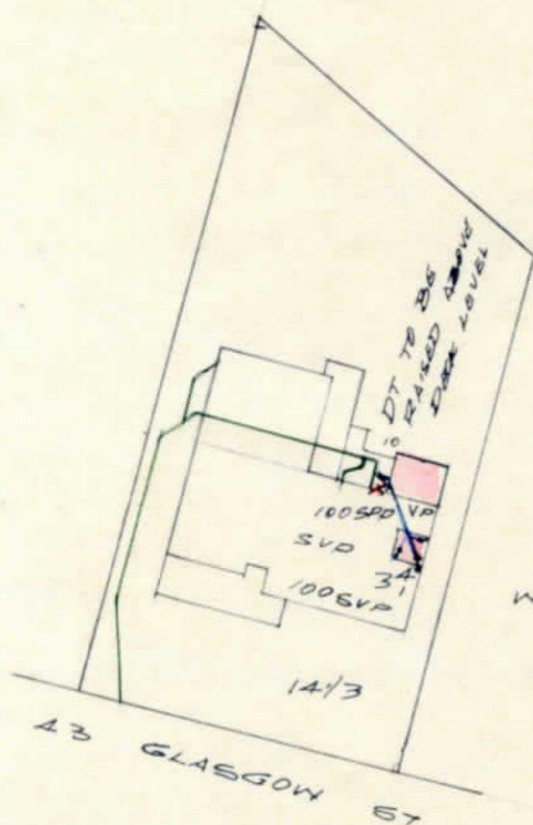
SCALE: METRIC 1:500



ADDITIONAL WORK

FIXTURES

	NO.	OFF
1	WATER CLOSET	(/)
2	BATH	(/)
3	BASIN	(/)
4	SHOWER	(/)
5	SINK	(/)
6	TROUGHS	(/)



WC IS 'P' TRAP PAN

NOTES: DRAINS TO BE LAID ARE SHOWN IN BLUE LINES. THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS AND SPECIFICATIONS.
 DRAINS TO BE DELETED SHOWN BY RED X. EXISTING DRAINS SHOWN IN GREEN LINES.
 POSITION OF BRANCH TO BE LOCATED BEFORE ANY WORK IS COMMENCED.
 DRAINS TO BE LAID IN (U.P.V.C.) UNPLASTICISED POLYVINYL CHLORIDE IN ACCORDANCE WITH A.S.A. GA 67-1972 AND CANBERRA CODE OF PRACTICE ISSUE 1 JULY 1974.

Designed by MOORE & SMITH PTY. LTD. Phone 80 5226
 Plumbing & Drainage Consultants

DRAWN

GM 4/80

REF E 155

h. Shillaber 2.5.80
 SEWERAGE ENGINEER