

# 5 Lutwyche Street Higgins

Report Prepared: 30 April 2014



## Portfolio includes:

Property Report  
Compliance Report  
Timber Pest Report  
Energy Rating  
EER Fact Sheet  
Insurance Certificate  
Invoice  
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## IMPORTANT INFORMATION RELATING TO THIS REPORT



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It is important that you carefully read the complete report including the "Scope and Limitations" section before you make any critical decisions that may be influenced by this document.

Significant structural defects or maintenance items that have a substantial cost associated with repairs, or where in our opinion may have an influence on the decision to purchase the property, are documented in this report.

Where reference has been made in this report to cracking, settlement, movement or an opinion has been provided on structural integrity, it is important to note that we are not experts in this area and our advice is limited accordingly. If considered necessary, further advice should be obtained from a Structural Engineer before critical decisions are made. Any cracking reported should be monitored for further movement. Superficial or hairline cracks that we consider to have no immediate structural implications will not be identified.

Please refer to the Compliance Report to ensure that you identify any unapproved or non-compliant structures or alterations.

## PROPERTY DETAILS

<b>Inspection Date</b>	30 April 2014
<b>Our Reference</b>	9695
<b>Client</b>	Carolyn Stanton
<b>Property</b>	5 Lutwyche Street, Higgins
<b>Block Number</b>	6
<b>Section Number</b>	19
<b>Gross Living Area Sqm</b>	Approximately 98.00
<b>Weather Conditions</b>	Fine

## REPORT SUMMARY

### IMPORTANT NOTE FOR THE READER

This report is intended to be read in its entirety. Please read the full document including detailed inspection information and the Scope & Limitations of Report before reaching any conclusions regarding the condition of the property. If there are any discrepancies between the "Report Summary" and the Detailed Report, the detailed report information should be relied upon.

**Having completed a visual inspection and assessment of the dwelling on the subject property it is our opinion that:**

- the dwelling is of adequate construction and structural workmanship for this type of residential development and its condition is commensurate with the era of construction, design, age and use
- our inspection of the property and review of the building file provided by the Department of Environment & Sustainable Development revealed there are structures/alterations/additions that require building or development approval or are non-compliant, the details are noted in the Compliance Report
- there was no evidence of termite activity found at the time of our inspection
- there are maintenance items that are detailed in this report, please read the entire report carefully

## DESCRIPTION OF PROPERTY

### Development Summary

- free standing dwelling
- one level
- three bedrooms
- one bathroom
- separate toilet
- laundry room
- living room
- dining room
- kitchen

### Furniture

Where a property is furnished at the time of inspection, furnishings, floor coverings, window treatments and stored goods may be concealing some defects.

- the dwelling was unfurnished at the time of the inspection

### Roofing

- cut hardwood construction
- concrete tile roof covering

### Exterior Walls

- brick veneer construction

### Flooring

- hardwood bearers and joists with hardwood tongue and groove flooring, concrete slab construction to wet areas

### Motor Vehicle Accommodation

- carport
- garage

### Summary of Structures, Additions and Alterations noted on the Compliance Report

Document numbers are noted where applicable, please refer to the Compliance Report for full details.

- new residence – 18536
- swimming pool – 18536/A
- doorway to garage
- carport
- garden shed

## PROPERTY ACCESS

Restricted access caused by stored goods, furnishings, window treatments, security devices, vegetation, duct work, confined spaces, insulation and other impediments will limit the scope of this inspection.

- interior - access is acceptable
- subfloor - access was acceptable
- roof cavity access was acceptable
  - insulation covering the ceiling framing
  - low clearances
- external structures - our inspection of external structures is restricted by;
  - garden overgrowth restricted access to some structures



Roof Cavity



Sub Floor

## SCOPE OF OUR INSPECTION

This report is written with reference to Australian Standard AS 4349.0-2007 Inspection of Buildings (General requirements) and AS 4349.1-2007 Inspection of Buildings (Pre-purchase inspections - Residential Buildings) and is the result of a VISUAL INSPECTION ONLY – It is intended to be read as a whole.

The report is not designed to quantify features of the property; rather it is our role to conduct a thorough visual inspection and report only on areas of concern and identify critical defects or faults for an intending purchaser, insofar as a property inspector can reasonably identify those defects or faults.

When reading this report, the age of the building needs to be taken into consideration. Some items may not have been detailed, as they are considered a normal occurrence or general wear and tear for a building of this age. Electrical appliances and utilities such as water reticulation, electrical wiring or gas installations, swimming pool and spa equipment were not tested. Qualified technicians should be consulted in regard to these items. Generally, ongoing maintenance items, upgrading, cosmetic works and minor defects or faults will not be detailed.

**The following extracts from the Australian Standard AS 4349.1-2007 should assist the reader to understand how we have approached the inspection and define the general focus of the report:**

**2.3.1 GENERAL** The inspection shall comprise visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of inspection.

**4.1 GENERAL** It is necessary to inspect each of the areas and items set out in Section 3; however, it is not necessary to report on each one. An inspector may choose to report only on an 'exceptions basis', i.e., listing only defects, rather than also reporting items that are in acceptable condition.

# PROPERTY REPORT

## STANDARD INDICATORS

The Property Inspector uses the following terms when describing the standard of a building or a particular item being scrutinised. They are:

### No Significant Defects have been Detected/Good

The feature or area subject to comment is, in the inspector's opinion, of sufficient standard to not require any significant remedial action. There may be minor imperfections in the finish or the structure.

### Minor Defects have been Detected/Fair

The feature or area subject to comment is, in the inspector's opinion, usable but has deteriorated and would benefit from remedial or repair work. For instance, painting may be required, render may require patching, and door or window fittings may require adjustment or repair.

### Defects have been Detected/Poor

The feature or area subject to comment, in the inspector's opinion, requires substantial remedial or repair work, or replacement. Faults are major and possibly structural. Repairs are considered necessary rather than discretionary.

All of the above terms are used having regard for the age, quality of workmanship, style and type of construction of the building being inspected. For example, the features and finishes considered "good" in a 50 year old building are not necessarily going to be so in a modern dwelling.

## WHAT OUR INSPECTOR EXAMINES

To provide relevance and value for the reader, we have at the end of this report included a summary showing aspects that are considered during our inspection. We recommend that you read this information very carefully to gain perspective about the detail of our examination. Comment on many items will only be provided in the event of an adverse finding that may have an influence on any decisions relating to the value of the property. The inspector did not move or remove any ceilings, wall coverings, floor coverings, furnishings, equipment, appliances, pictures or other household goods. In an occupied property, furnishing or household items may be concealing defects.



### FOR THE READER'S INFORMATION:

We are aware that many comments made throughout this report are repetitive. However, this is designed to inform the reader that the elements commented on have been inspected.

# INTERIOR

## Entrance

Overall condition: no significant defects have been identified

- ceilings and cornices - good
- walls - good
- architraves and skirting boards - good
- doors and windows internal - good
- hardware, fixtures and fittings - good

## Master Bedroom

Overall condition: no significant defects have been identified

- ceilings and cornices - good
- architraves and skirting boards - good
- walls - good
- doors and windows internal - good
- hardware, fixtures and fittings - good

## Bedroom Two

Overall condition: no significant defects have been identified

- ceilings and cornices - good
- architraves and skirting boards - good
- walls - good
- doors and windows internal - fair
  - the cupboard doors are binding with their frames - adjustments are required
- hardware, fixtures and fittings - good

## Bedroom Three

Overall condition: no significant defects have been identified

- ceilings and cornices - good
- architraves and skirting boards - good
- walls - good
- doors and windows internal - good
- hardware, fixtures and fittings - good
  - cupboard door catches require some repairs

## Hallway

Overall condition: minor defects have been identified

- ceilings and cornices - good
  - there is some minor movement cracking to the ceiling lining - this is a cosmetic matter and repairs required are minimal
- architraves and skirting boards - good
- walls - good
- hardware, fixtures and fittings - good
- doors and windows internal - good

## Bathroom

Overall condition: defects have been identified

- ceilings and cornices - good
- architraves and skirting boards - good
- walls - good
  - there is some minor cracking in the rendered walls, however, they are not considered to be structurally significant
- doors and windows internal - fair
  - the entrance door is binding with the frame - adjustment is required
- hand basin - good
- shower screen - good
- bath - good
  - enamel bath
  - the bath has significant marks, chips and wear
- ventilation - good
  - ceiling fan unit (with heat lamps)
  - one heat lamp requires replacement
- water leakage -
  - water leakage was detected adjacent to the shower wall backing onto the kitchen indicating seepage from the shower recess. The leakage may be from the around the shower screen or it may be seepage from the shower base. A comprehensive water test may be necessary to quantify the extent of the problem and to determine the most appropriate remedial action
- wall tiles - fair
  - some wall tiles have been replaced. Generally this is an indication that there have been adhesion difficulties. Further repairs or replacement may eventually be required
  - some areas of the wall tile grouting require minor repairs
- floor tiles - fair
  - there are cracked/chipped tiles on the shower hob
- hardware, fixtures and fittings - fair
  - shower taps leaking



## Toilet

Overall condition: minor defects have been identified

- ceilings and cornices - good
- walls - good
  - there is some minor cracking in the rendered walls, however, they are not considered to be structurally significant
- doors and windows internal - good
  - door hardware requires some repairs
- architraves and skirting boards - good
- toilet suite - good
  - single flush vitreous china cistern
- water leakage -
  - no water leakage was detected
- ventilation - good
  - there is no mechanical ventilation
- wall tiles - good
- floor tiles - good
- hardware, fixtures and fittings - good

## Laundry

Overall condition: no significant defects have been identified

- ceilings and cornices - good
- architraves and skirting boards - good
- walls - good
- doors and windows internal - good
  - the entrance door is binding with the frame - adjustment is required
- laundry tub - good
  - stainless steel laundry tub
- water leakage -
  - no water leakage was detected
- wall tiles - fair
  - skirting tiles require some minor repairs
- floor tiles - good
- hardware, fixtures and fittings - good
- ventilation - good
  - there is no mechanical ventilation

## Kitchen

Overall condition: minor defects have been identified

- ceilings and cornices - good
  - there is some minor movement cracking to the ceiling lining - this is a cosmetic matter and repairs required are minimal
- architraves and skirting boards - good
- walls - fair
  - high moisture reading in the masonry wall backing onto shower recess
- doors and windows internal - good
  - the entrance door is binding with the frame - adjustment is required
- wall tiles/splash-back - fair
  - wall tiles require some minor repairs
- ventilation - good
  - ventilation is provided by a ceiling mounted exhaust fan
- kitchen fit-out - fair
  - the kitchen fit-out is in functional condition with normal wear and tear evident
- hardware, fixtures and fittings - good

## Dining Room

Overall condition: no significant defects have been identified

- ceilings and cornices - good
- architraves and skirting boards - good
- walls - good
- doors and windows internal - good
- hardware, fixtures and fittings - good

## Living Room

Overall condition: no significant defects have been identified

- ceilings and cornices - good
- architraves and skirting boards - good
- walls - good
- doors and windows internal - good
- hardware, fixtures and fittings - good

## Roof Cavity

Overall condition: no significant defects have been identified

- insulation -
  - the roof cavity has been insulated with loose fill (blown) insulation
- sarking -
  - no sarking has been installed in the roof cavity
- roof construction -
  - cut hardwood construction

# EXTERIOR

## Roof Covering

Overall condition: minor defects have been identified

- concrete tile roof covering
- the early stages of the deterioration of the bedding and pointing was noted. Bedding and pointing is the mortar that is used to secure the capping tiles to the roof tiles. Capping tiles run along the peak of the roof which is known as the ridge. Bedding and pointing is also employed to seal the gable end tiles. These are often referred to as the gable end verges. Sand and cement mortar which was commonly used in the past will break down over time, small cracks will appear and progressively the mortar will disintegrate and detach from the capping tiles. The time that this takes will vary. Re-bedding and pointing will eventually be required to ensure that the roof covering remains weatherproof. Bedding and pointing should, in most circumstances, remain viable for 10 to 20 years. When newer more flexible compounds (such as Flexipoint) are used, this time will significantly increase. If you would like more information about Flexipoint pay a visit to [www.flexipoint.com.au](http://www.flexipoint.com.au)
- there are a number of valley tiles that require repositioning

## Gutters and Downpipes

Overall condition: minor defects have been identified

- our inspection indicates that the gutters and downpipes are in functional condition however, it should be noted that gutters and downpipes will have a limited lifecycle. Gutters that are draining correctly and have been well maintained would be expected to last up to 30 years and in many cases longer
- there is leakage occurring at some gutter and or downpipe section joins. This occurs through expansion and contraction of the sections over time leading to a breakdown of the soldered joint. Water retention due to poor alignment or malfunctioning drainage leading to the intrusion of rust is also a significant contributor to water leakage from the roof drainage systems. Remedial action may include sealing of the leak with an appropriate sealant such as Selleys Roof and Gutter Sealant. In some cases the section may need to be repaired or replaced by a qualified roof plumber

**Roof drainage is not tested during our inspection therefore it is not possible to determine the effectiveness of the roof drainage system under all conditions.**

## Eaves, Fascia and Barge Ends

Overall condition: minor defects have been identified

- some sections of the eave lining have disengaged, refixing to the eave battens and repair or replacement of the cover strips is required near the kitchen window

## Wall Construction Exterior

Overall condition: no significant defects have been identified

- brick veneer construction
- our inspection did not identify any cracks in the exterior masonry that were considered to be structurally significant at the time of inspection. Cracking of masonry walls is very common, particularly with this regions volatile clay soils. Any cracks that were considered to have no structural implications at the time of inspection have not been individually identified

## Doors and Windows External

Overall condition: no significant defects have been identified

- the front door is binding with the frame, adjustment is required

## Floor Construction

Overall condition: no significant defects have been identified

- hardwood bearers and joists with hardwood tongue and groove flooring, concrete slab construction to wet areas

## Sub Floor

Overall condition: minor defects have been identified

- generally the sub floor is in good condition
- generally the sub floor was dry, however, there was some surface moisture present at the time of our inspection. Moisture levels should be monitored to determine if this is an ongoing condition. Remedial action should include a review of surface and sub-surface drainage, garden bed location, garden watering and run-off from hard surfaces to ensure that moisture is directed away from the sub-floor. Elevated humidity levels contribute to creating an environment that is conducive to timber pest infestation. Additionally, saturated footings can create conditions that may compromise their structural integrity
- access to the subfloor under the wet areas was not available due to the type of construction in this area

## Driveway

Overall condition: no significant defects have been identified

- the condition of the driveway paving is commensurate with the age of the development, typically over time the paving will develop cracks and undulations often as a result of tree root intrusion or the subsidence of the sub soil. Mostly the deterioration is significant from a cosmetic perspective, vehicle access is generally acceptable

## Paths and Paving

Overall condition: minor defects have been identified

- the condition of the paving is commensurate with the age of the development, typically over time the paving will develop cracks and undulations often as a result of tree root intrusion or the subsidence of the sub soil
- there is some minor cracking to the paths

## Steps and Stairs External

Overall condition: no significant defects have been identified

## Balustrades and Handrails

Overall condition: no significant defects have been identified

## Fences and Gates

Overall condition: minor defects have been identified

- fences have deteriorated commensurate with their age. Timber decay or wood rot is evident in cross-timber and timbers in contact with the ground
- over-growth and other vegetation in some areas of the fence line limited our inspection. We were unable to determine the condition of the fencing in those areas
- our visual inspection did not detect any timber pest activity
- evidence of wood decay (rot) damage was sighted

**Where the fence line is obscured by foliage, overgrowth and structures, evidence of timber pest activity or damage may be concealed.**

## Garage

Overall condition: minor defects have been identified

- description -
  - the garage is under the roof line
- roof covering - good
  - concrete tile roof covering
  - the early stages of the deterioration of the bedding and pointing was noted. Bedding and pointing is the mortar that is used to secure the capping tiles to the roof tiles. Capping tiles run along the peak of the roof which is known as the ridge. Bedding and pointing is also employed to seal the gable end tiles. These are often referred to as the gable end verges. Sand and cement mortar which was commonly used in the past will break down over time, small cracks will appear and progressively the mortar will disintegrate and detach from the capping tiles. The time that this takes will vary. Re-bedding and pointing will eventually be required to ensure that the roof covering remains weatherproof. Bedding and pointing should, in most circumstances, remain viable for 10 to 20 years. When newer more flexible compounds (such as Flexipoint) are used, this time will significantly increase. If you would like more information about Flexipoint pay a visit to [www.flexipoint.com.au](http://www.flexipoint.com.au)
- gutters and downpipes - good
- wall construction exterior - good
  - brick construction
- floor construction - good
  - concrete slab construction
- doors - good
  - one tilt door has been fitted
- ceilings and cornices - fair
  - there has been an internal partition wall removed - this is not structurally significant however may require repairs for presentation only

## Carport

Overall condition: minor defects have been identified

- carport type -
  - single carport
- roof covering - fair to poor
  - corrugated metal roof covering and alsynite
  - the fibreglass sheeting is weathered and replacement is likely to be required in the near future
- structural integrity - good
- gutters and downpipes - fair
  - there is leakage occurring at some gutter and or downpipe section joins. This occurs through expansion and contraction of the sections over time leading to a breakdown of the soldered joint. Water retention due to poor alignment or malfunctioning drainage leading to the intrusion of rust is also a significant contributor to water leakage from the roof drainage systems. Remedial action may include sealing of the leak with an appropriate sealant such as Selleys Roof and Gutter Sealant. In some cases the section may need to be repaired or replaced by a qualified roof plumber
- floor construction - fair
  - concrete slab construction
  - there is significant uplifting and cracking of the driveway paving – replacement may be required in the near future

# COMPLIANCE REPORT

A Residential Conveyancing File from Environment and Sustainable Development (ESDD) has been obtained to complete this Compliance Report. Documentation in this file may include: floor plans, site elevations, certificates of occupancy, file index, survey reports and drainage plans.

This report has been based on a thorough examination of the building file documents and a thorough visual inspection by our Company of this property. The report deals with matters of compliance from the plans and documentation provided by ESDD. Please note that where the detail on plans supplied by the ESDD has been compromised or is illegible, Residential Reports will not accept any liability for omissions or errors in our report. **PLEASE READ THE BUILDING FILES NOTATION** - in our Scope & Limitations Section.

## DEVELOPMENT APPROVAL

If this report reveals structures or alterations that require Development Approval please note that approval may have been granted, however, documentation is not provided in the building file. The Environment and Sustainable Development Department or the owner may have further information.

## UNAPPROVED STRUCTURES AND ALTERATIONS

If you are considering obtaining approval for any unapproved structures or alterations you will need to consult a Building Certifier. We recommend that you;

- Refer to our Resource Library at [www.residentialreports.com.au](http://www.residentialreports.com.au)
- Click on the link 'Building Approvals' and consult a registered Certifier

Please note that Residential Reports Inspectors are not licensed Building Certifiers and accordingly cannot assist with Development Approval or the certification of unapproved structures and alterations.

Plan No. (if applicable)	Description	Date of Certificate of Occupancy	Approved	Comments
18536	new residence	18/6/70	yes	
18536/A	swimming pool		see comment	the swimming pool has been removed
	doorway to garage		no	approval is required
	carport		no	approval is required
	garden shed		see comment	approval is not required the structure is located on an easement

Survey Reports	Date	Comments
P.R. Simms	4/11/69	the surveyor's report indicates that there are no encroachments onto this property nor by this property onto adjoining properties

# TIMBER PEST REPORT

This report is the result of a **VISUAL INSPECTION ONLY**. Inspection of the subject property and this report has been completed with reference to AUSTRALIAN STANDARD AS 4349.3 - 2010 Inspection of buildings Part 3: Timber Pest Inspections. The report is intended to be read as a whole, please read our detailed inspection information and the 'Scope & Limitations of Report' section, which includes a number of important disclaimers.

**IMPORTANT NOTE** - It is recommended that a full pest inspection be under-taken every 6-12 months. Regular inspections **DO NOT** prevent timber pest attack, they are designed to limit the amount of damage that may occur through early detection.

## AREAS INSPECTED

Where applicable and where there is reasonable access, the following areas are examined during our Timber Pest inspection:

- Interior and exterior of structures
- Roof cavity
- Garage or carport
- Subfloor
- Retaining walls and garden borders
- Garden and storage sheds
- Structures, fences and trees within 30m of the building within the boundaries of the property
- Pergolas and decks

### Access

Restricted access caused by stored goods, furnishings, window treatments, security devices, vegetation, duct work, confined spaces, insulation and other impediments will limit the scope of this inspection.

Please refer to **ACCESS INFORMATION** relating to this property at the beginning of the report

### Furniture

- the dwelling was unfurnished at the time of the inspection

Where a property is furnished at the time of inspection, you will appreciate that the furnishings, floor coverings and stored goods may be concealing any evidence of Timber Pest Activity.

## REPORT ON AREAS INSPECTED

Our visual inspection is undertaken to identify the following timber pests:

- Subterranean termite activity or damage
- Borer activity
- Wood decay (rot) fungi damage

For more information on timber pests please refer to the fact sheet at the end of this report.

### IMPORTANT PLEASE NOTE

In ALL instances throughout this report the inspector is referring to accessible areas only. Areas that were not accessible at the time of inspection or were concealed from view are not covered by this report and inspection. No guarantee is given or implied that those areas are free of timber pest activity.

### Dwelling

- our visual inspection did not detect any timber pest activity

### Roof Cavity

- our visual inspection did not detect any timber pest activity

### Sub-Floor

- our visual inspection did not detect any timber pest activity

### Garage/Carport

- our visual inspection did not detect any timber pest activity

### Fence line

- our visual inspection did not detect any timber pest activity
- evidence of wood decay (rot) damage was sighted

Where the fence line is obscured by foliage, overgrowth and structures, evidence of timber pest activity or damage may be concealed.

### Grounds, Retaining Walls, Garden Borders, Pergolas and Decks

- our visual inspection did not detect any timber pest activity

### Outbuildings (garden sheds etc)

- our visual inspection did not detect any timber pest activity



## ENVIRONMENTAL CONDITIONS & SUMMARY

### Sub Floor Drainage

- we are not plumbers, however, it is our opinion that sub floor drainage is generally adequate
- there was some surface moisture present at the time of our inspection, this should be monitored to ensure that it is not an ongoing condition

Poor subfloor drainage increases the likelihood of termite attack. If drainage is considered inadequate, a plumber or other building expert should be consulted.

### Sub Floor Ventilation

- our inspection indicates that subfloor ventilation is generally adequate

Ventilation of the sub-floor region is important in minimising the opportunity for subterranean termites to establish themselves. If the ventilation is found to be inadequate, remedial measures should be taken. Consideration should be given to installing high air flow vents and/or improve the cross flow of air within the subfloor, so as to produce ventilation equivalent to 8400 sq mm net ventilation area per lineal metre on external and internal walls.

### Evidence of Recent Termite Treatment

- we found no evidence of any recent termite treatment

A note present in the metre box would indicate the property has been treated in respect of attack by subterranean termites or has a preventative treatment system.

### Subterranean Termite Treatment Recommendation

- at the time of the inspection a treatment in accordance with Australian Standard 3660.1 to control or prevent subterranean termites from infesting and causing damage to the property was not considered necessary

### Overall Susceptibility of the Building to Timber Pest Infestation

- **considering all of the relevant factors, it is our opinion that the overall degree of risk of timber pest infestation to the property is MODERATE - regular inspections are recommended**

#### IMPORTANT PLEASE NOTE

The overall degree of risk of Timber Pest Infestation is a subjective assessment by the inspector at the time of the inspection, taking into account many factors which include, but are in no way limited to, location and proximity to bushland and trees and/or other timber structures, evidence of timber pest damage or activity close to the inspected structure or within the inspected structure, conducive conditions that raise the potential of timber pest attack, such as timbers in contact with soil, inaccessible areas, slab on ground construction etc, or other factors that, in the inspector's opinion, raise the risk of future timber pest attack.

It should be noted that if the risk factor is considered to be high, this is not meant to deter a purchaser from purchasing the property; it is simply to make them aware that increased vigilance is warranted and any recommendations regarding reducing conducive conditions or frequency of inspections should be observed.

With reference to the degree of pest infestation noted above, it is recommended that pest inspections be completed by a qualified pest inspection every six to twelve months.

## What the Inspector Examines to Prepare a Property Report

To provide relevance and value for our readers, the following pages show (but do not limit) aspects of the property that may be examined, where visual inspection is possible. These items have been extracted from the Australian Standard AS4349.1—2007 Inspection of buildings (Pre-purchase inspections - Residential buildings) and are considered as the inspector reviews each room or area. In most circumstances comment on a particular area or item may only be provided in the event of an adverse finding considered to be worthy of mention.



### WALL CONSTRUCTION

- bulging
- dampness/water damage
- distortion (significant)
- nail popping
- cracking
- defective lining
- defective or damaged plaster/render

Settlement cracks, if present, need to be monitored over a period of time to determine if an ongoing structural problem exists. If any reference has been made in this report to cracking, settlement and/or movement, it should be noted that we are not experts in this area and further advice should be obtained from a Structural Engineer.

### FLOORS, COVERINGS & FINISHES

#### Timber Floor Construction

- springy boards/sheeting
- out of level
- squeaky boards/sheeting
- undulations
- timber decay (rot)
- dampness/water damage

#### Concrete Floor Construction

- cracking
- out of level
- dampness/water damage

#### Hard Flooring

- wear
- loose or drummy units
- stains and marks
- dampness/water damage
- cracking

### INTERNAL & EXTERNAL DOORS & DOOR FRAMES

- binding doors
- loose/badly fitting doors
- defective hardware
- damage
- rotting/corroded frames

### TIMBER & METAL WINDOWS

- putty/glazing sealant
- sills
- fittings/hardware
- broken glass
- damage
- rotting frames (timber)
- rotting frames, corrosion (metal)

In most cases access to windows is restricted by window treatments, furniture or security locks. Older style timber windows can sometimes bind with the frame generally due to paint build up. This is viewed as a general maintenance issue. Sash windows sometimes require maintenance to the window balance mechanism or sash cords. We are not able to guarantee that windows will operate smoothly. Sometimes window runners, sashes and balance mechanisms will require maintenance or replacement.

### PAINTWORK

The condition of painted surfaces is often a subjective matter. Areas that appear to be acceptable when furnished may not always be considered so when devoid of obstructions. Paint work is normally not considered in Property Inspections and Reports. The opinions provided here are of a general nature only, given that there can be significant differences in the condition of painted surfaces in each area of the property. The reader of this report is urged to conduct their own detailed inspection before reaching a conclusion regarding the acceptability of painted surfaces.

To prevent wood decay of timber surfaces and deterioration of metal components, the condition of these surfaces should be monitored and repainting carried out regularly. Corrosion of any metal roof sheeting should be repaired, treated and painted to avoid water leakages. Painted surfaces can mask areas where timber has deteriorated. Our visual inspection may not detect instances where this has occurred.

## WET AREAS

If a wet area was not in service prior to and or at the time of inspection and no elevated moisture readings were recorded, or there was no visible evidence of water leakage, then it is entirely possible that an existing water leak will remain undetected.

- floor grade
- taps, basins, tubs
- drummy tiles
- sealants
- vanity
- fixtures and fittings
- floor waste
- leakage
- cracked/missing tiles
- shower leakage
- ventilation
- cistern/pan
- water hammer
- grout defects
- broken/cracked screen glass
- mirrors

## WATERPROOFING

Australian Standard AS 3740-2004 - Waterproofing of Wet Areas

*A VISUAL INSPECTION OF THE AREA CANNOT PROVIDE CONCLUSIVE EVIDENCE THAT THE AREA IS WATERPROOF. Compliance with Australian Standard AS 370-2004 is critical to meeting waterproofing requirements.*

Should conclusive evidence be required regarding the integrity of waterproofing of wet areas, in particular shower areas, we recommend that a qualified technician be engaged to complete a comprehensive test to include:

1. *Capping the shower rose and leaving the water reticulation system under pressure and then checking for evidence of water leakage around tap spindles etc. (the sound of escaping air when the shower rose cap is removed indicates a water tight system). The technician may be engaged to complete a comprehensive pressure test of the entire water reticulation system.*
2. *Plugging the floor drain of the shower cubicle(s) and filling the base with water to the maximum level. Allowing the water to remain in the base for an extended period and checking that the level has not dropped. If the water has diminished it is most likely that the waterproofing system has failed. In this event, extensive repairs to correct the problem are often the outcome.*

## KITCHEN

- bench tops
- taps
- drummy tiles
- sealants
- cupboards
- leakage
- cracked/missing tiles
- ventilation
- doors & drawers
- sink
- grout defects
- excessive water hammer

This report does not cover any matters relating to the operation of electrical or gas appliances. Any comments made in this regard are from a general observation only.

## INTERNAL & EXTERNAL STAIRCASES

- stringers
- newel posts
- handrails
- treads (goings)
- balustrades
- risers

## INTERNAL ROOF SPACE

- framing
- party walls (if applicable)
- insulation
- sarking

Sarking is a foil insulation/vapour barrier. Used in conjunction with bulk insulation, sarking provides an ideal insulation system for the control of heat and condensation. Sarking can only be installed during construction.

## EXTERNAL ROOF COVERING, FASCIAS, GUTTERS & DOWNPIPES

- tiles/slates
- skylights
- valleys
- fascia boards
- sheet roofing
- vents
- guttering
- barge ends
- flashing
- flues
- downpipes
- eaves

It is important to note that a visual inspection of the roof covering may not identify roof leakages. We do not guarantee that the roof will not leak in all weather conditions.

Repainting of timber can mask the existence of timber rot. We cannot guarantee that all timbers are sound. A visual inspection may not, in some circumstances, detect roofing timbers affected by rot.

Roof drainage and the stormwater system are not tested at the inspection. Blocked or non-existent stormwater drains are sometimes accountable for problems relating to roof drainage.

### EXTERNAL WALLS & NON STRUCTURAL REINING WALLS

- bricks
- cracking/movement
- weep holes
- decay
- mortar
- dampness
- joint sealants
- render
- visible flashing
- perpend

Settlement cracks, if present, need to be monitored over a period of time to determine if an ongoing structural problem exists. If any reference has been made in this report to cracking, settlement and or movement, it should be noted that we are not experts in this area and further advice, if considered necessary, should be obtained from a Structural Engineer.

### PATHS, PAVING & DRIVEWAY

- cracking
- sinking
- movement
- alignment
- uplifting
- root penetration

### FENCES & GATES

- palings/panels
- sagging
- rails
- timber decay (rot)
- posts

### SUB FLOOR

#### Timber Floor Construction

- bearers & joists
- dampness
- cracked or leaking pipes
- framing
- drainage
- debris
- piers/stumps
- ventilation

#### Suspended Concrete Floor Construction

- concrete condition
- debris
- cracked or leaking pipes
- cracking
- drainage
- dampness
- ventilation

If moisture is noted, it is recommended that the sub-floor area be monitored to ensure that surface and sub-surface moisture ingress is not an ongoing issue. If the area remains damp, consideration should be given to upgrading subterranean and surface drainage systems to ensure that moisture is directed away from the building foundations and the sub-floor area is kept dry. A qualified drainage expert should be consulted with regard to drainage issues.

Many serious foundation problems are caused by reactive soil types and trees and gardens being planted too close to the building. Generally, clay soils which as common in the ACT, are reactive soils. Large trees use vast amounts of water and can quickly draw moisture out of the ground during dry periods, this results in destabilised moisture content of the soils around the building and ultimately may cause a foundation problem.

Over watering gardens close to the building may have the opposite effect, especially with clay soil. Over watering increases the moisture content of the soil which can result in "heaving" of the foundations adjacent to the garden. When watering close to the building you should avoid 'pooling' of water in a particular area, as this also affects the moisture content of the soil which in turn can cause damage to footings and foundations. Too much or too little water near the perimeter of the building may cause serious problems with foundations and footings. Damage to foundation footings can cause major structural problems, resulting in costly repairs.

#### HINTS FOR AVOIDING PROBLEMS AND COSTLY REPAIRS:

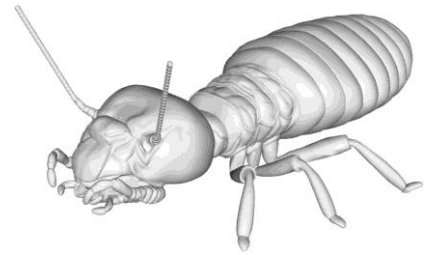
- Water evenly close to the building and do not over water
- Ensure the ground is graded away from the walls of the building and that the property has adequate drainage
- Promptly repair broken downpipes, leaking taps, sewerage pipes and other water services
- Hot water system overflows should be directed away from the area immediately adjacent to the foundations and the services maintained to ensure excessive leakage does not occur
- Garden beds should not be located against the house

### SPECIAL PURPOSE REPORTS

Improvements such as swimming pools and spas are subject to a Special Purpose Report and are not included in our inspection and reports. We recommend that a qualified technician be engaged to report on these items and to advise on current regulations relating to safety fencing and equipment.

# Useful Timber Pest Information

Information regarding prevention of timber pest infestation is helpful to all property owners. Every year timber pests contribute significantly to property damage in Australia. If left unchecked, a susceptible home can be damaged beyond repair in a matter of months. Routine checks and maintenance can help to minimise risk. As there are no 100% effective detection procedures, it is strongly advised that a professional pest controller is engaged if there are any concerns or evidence regarding the presence of timber pests on your property, and that regular pest inspections are undertaken on all buildings.



## Termites

Termites are amazing insects that have mastered cooperation, affording them extraordinary achievements. Building mud skyscrapers, hollowing enormous trees, moving huge amounts of soil and of course, eating your house are all accomplishments boasted by this fascinating creature. Termites (or white ants) can seriously damage the structure of a house or building, they are not selective creatures – every property is vulnerable! Termites feed on wood and serve a crucial function in our environment by converting dead trees into organic matter. They have the ability to bite off and process very small fragments of wood and can cause serious structural damage if wood is attacked in a building.

Under favourable conditions a termite colony of 60,000 workers can consume about a metre of two by four in as little as four months. In other circumstances, it can take as long as six years for termites to cause noticeable damage. Termite activity may remain undetected even after serious damage has occurred. This activity may have gone unnoticed because:

- Swarms have been ignored by the current owner of the property
- Termite activity may be ongoing, but be hidden behind concealed surfaces such as walls or stored goods
- Termite activity typically occurs beneath the surface of a visible wood beam and cannot be detected until the damage has occurred

It is impossible to undertake a visual inspection 'looking inside' walls or through wooden beams. Invasive techniques would need to be applied if there was concern about the presence of a termite colony.

Subterranean termites live in nests called colonies that may live as deep as 6 metres below the soil surface. Termites use mud tubes to travel in search of food sources. A mature colony takes approximately five years to mature and may include up to 200,000 workers.

Termites hide. They avoid light and rarely come out into the open. Mud tubes running up walls, floors and other areas of a property are a reliable indication of termite presence. Termites travel from food sources (wood) back to their nests by way of these mud tubes which are commonly found in basements of infested homes or running from soil to the house. Another means of travel is through hollow wood. You would also find evidence of dried mud, because termites have left the area and moved to the next food source in the property.

## Borers of Seasoned Timbers

There are many types of wood borers in Australia. Borers are the larvae of various species of beetles. The adult beetles lay their eggs within timber and when the eggs hatch, the larvae 'bore' through the timber which can cause significant structural damage. The larvae may reside totally concealed within the timber for a period of several years before passing into a dormant pupal stage. Within the pupal case they change into the adult beetle which cuts holes in the outer surface of the timber to emerge, mate and lay further eggs to continue the cycle. It is generally only through the presence of these access 'pinholes', frass and dust formed by the activity that their presence can be detected.

Where floors are covered by carpet, tiles, or other coverings, and where there is no underfloor access, it is often not possible to determine the presence of borers. This is particularly the case with the upper floors of a dwelling.

There are many types of wood borer. Those which are most often found in timber in houses and furniture usually belong to one of the following groups.

**Lyctid borer (Powder Post Beetle)**

- powderpost beetles mostly attack during the first 6-12 months of service life of timber
- produce a fine powdery dust, similar to talcum powder
- attack the sapwood of certain susceptible species of hardwood timber and can cause serious structural weakening in timber that has a high sapwood content
- as only the sapwood is destroyed, larger dimensional timbers (rafters, bearers and joists) are seldom weakened significantly; however, smaller dimensional timbers such as tiling or ceiling battens often have extensive sapwood content and its destruction may result in collapse

**Anobium borer (furniture beetle) and Queensland pine borer**

- attack furniture, structural timbers, flooring and decorative wood work
- favour old, well seasoned timber, especially softwoods such as Baltic pine or New Zealand white pine. However some hardwoods are susceptible
- these beetles are responsible for instances of flooring collapse
- attack by this beetle is usually observed in timbers that have been in service for 10-20 years or more and mostly involves flooring and timber wall panelling
- frass from exit holes is fine and gritty and wood attacked by these borers is often honeycombed.
- prefers cool, humid conditions

**Timber Decay Fungi**

Wood decay by fungi establishes growth in unsealed, split, exposed timbers, in poorly ventilated areas such as subfloors, and around wet areas. Removal of the moisture source is generally the most powerful defence. Fungal decay is attractive to white ants and if the problem is not resolved it is possible that the area may be subject to termite attack.

**Brown Rot (Cubic Rot)**

- brown rot fungi feed on the wood's cellulose, leaving a brown residue of lignin, the substance which holds the cells together. Infested wood may be greatly weakened, even before decay can be seen.
- advanced infestations of brown rot are evidenced by wood more brown in colour than normal, tending to crack across the grain.
- after it is dried, wood previously infested with brown rot will turn to powder when **crushed**.

**White Rot**

- white rot attacks wood; it breaks down both the lignin and cellulose causing the wood to lose its colour and appear whiter than usual
- wood affected by white rot generally does not crack across the grain; rather it will shrink and collapse when severely degraded
- infested wood gradually loses strength and become springy to the touch

**Concrete Slab Homes**

Where a concrete slab forms the foundation of a home, it is important that the edge of the slab is left exposed. Weep holes in between the bricks, found immediately above the slab, must also be left unobstructed. When garden beds, lawns and foliage, decking, pavers and paths conceal the slab it is possible for termites to move in undetected and attack framing timbers of a building. They may move all the way up to truss work and roof frames, by which time massive damage may have been affected. Like any building constructed on a timber frame, a home on a concrete slab should be maintained and regularly inspected to prevent timber pest infestation.



## SCOPE AND LIMITATIONS OF OUR INSPECTION



This report is intended to be read as a whole. Please read the detailed inspection information and the Scope & Limitations of Report sections before reaching any conclusions regarding the condition of the property. Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the Scope and Limitations of the inspection, form an integral part of the report.

This report has been prepared as a result of a **VISUAL INSPECTION** with reference to the requirements of Australian Standard AS 4349.0-2007 Inspection of buildings (General requirements), AS 4349.1-2007 Inspection of buildings (Pre-purchase inspections -

Residential buildings) and AS 4349.3 - 2010 Inspection of buildings Part 3: Timber Pest Inspections. It is limited to the condition of those areas of the property that were fully accessible (**see Reasonable Access**) and visible to the inspector at the date of the inspection. In the case of a Strata type property, our inspector only undertakes an examination of the interior of the unit.

### Inspection of buildings – Pre Purchase Inspections – Residential Buildings

Inspection of the subject property and this report has been completed with reference to Australian Standard AS 4349.1-2007. The inspection is a **VISUAL INSPECTION ONLY**.

AS 4349.1 - Inspection of buildings excludes reporting of the following items: footings, concealed damp-proof course, electrical installations, smoke detectors and residue current devices; Plumbing, drainage, gas fitting, air conditioning and heating; Garage door opening mechanisms; Swimming pools, spas, saunas and associated equipment; The operation of fireplaces and chimneys; alarm systems and intercom systems; soft floor coverings including carpet and vinyl, floating floors; window treatments; appliances including dishwashers, garbage disposal units, ovens, ducted vacuum systems; paint coatings; landscaping.

### Limitation of Liability

The report of this property is valid on the date of inspection. No responsibility is accepted for any matter not existing or evident or for any deterioration occurring after the inspection date.

**This inspection is completely visual.** Concealed areas where access is unavailable are unable to be inspected and are not reported on; such defects could include, but are not limited to:

- Breakage, blockage or interference with any concealed pipes, broken window mechanisms (sash cords) etc.
- Any part of the structure which is underground or concealed e.g. footings, wall framing, under floor coverings. Areas concealed by furnishings or stored goods etc.

No responsibility can be accepted for defects which are latent or otherwise not reasonably detected on a visual inspection without interference with or removal of any of the structure including fixtures, fittings, furniture, insulation or stored items within and around the building.

## Safe and Reasonable Access

**Australian Standard 4349.1 – 2007 3.2.2** The extent of accessible areas shall be determined by the inspector at the time of inspection, based on the conditions encountered at the time of inspection. The inspector shall also determine whether sufficient space is available to allow safe access. The inspection shall include only accessible areas and areas that are within the inspector's line of sight and close enough to enable reasonable appraisal. **The Australian Standard 4349.3** defines reasonable access as "areas where safe, unobstructed access is provided and the minimum clearances are available; or, where these clearances are not available, areas within the consultant's unobstructed line of sight and within arm's length. NOTE: Reasonable access does not include removing screws and bolts to access covers."

**Reasonable access shall be determined in accordance with the provisions of the following Table:**

Area	Access Manhole MM	Crawl Space MM	Height
Roof Interior	400 x 500	600 x 600	Accessible from a 3.6 m ladder
Roof Exterior			Accessible from a 3.6 m ladder
Subfloor	500 x 400	Vertical clearance - Timber Floor: 400* Concrete Floor: 500	

\* To underside of bearer, joist or other obstruction to access.

Accordingly, this report is not a guarantee that defects and/or damage do not exist in any part of the property not specifically seen and described by the inspector. This report is not a warranty against problems that may develop in the future.

## Compliance Report

No attempt is made in this inspection and reporting process to confirm that the existing improvements on the subject property are in strict accordance with approved plans. There may be variations in design, features and dimensions that are in conflict with each other. Additionally, there is no guarantee given that improvements are in accordance with the current Building Code of Australia. In most circumstances there is no requirement to upgrade specifications to the current Building Code.

### Building Files

This report relies on the plans, survey reports, certificates of occupancy and other relevant documents supplied by the Department of Environment and Sustainable Development, the client or their agent. Our company or its employees cannot be held responsible for any omissions or errors in this report where incomplete, inaccurate or illegible information is supplied. It is the responsibility of the property owner to resolve any file discrepancies with the relevant authority. Documentation of any plumbing or electrical alterations is not included in the building file. If required this documentation can be obtained by the owner or other stakeholder from ACTEWAGL

## Property Report

This report does not and cannot make comment upon: defects which may have been concealed; the assessment or detection of defects (including rising damp or leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects; the presence or absence of timber pests; gas fittings; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns, fire protection; site drainage (apart from surface water drainage); the operation of swimming pools and spas; detection and identification of unapproved building work; detection and identification of illegal or inadequate plumbing or electrical work; durability of exposed finishes; neighbourhood problems; document analysis; any matters solely regulated by statute; any area or item that could not be inspected by the inspector.



Unless otherwise specified, no examination has been made of any documentation of any type. We have not referred to statutory authority records nor have we examined any survey or water and sewerage service diagram or any other document prepared by any statutory authority or other party.

### **Purpose of This Report**

The purpose of this report is to identify major defects or faults in the building for an intending purchaser, insofar as a property inspector can reasonably identify those defects or faults.

This report contains a number of observations but is not intended to list every defect. Defects are common to all properties and are generally attended to during routine maintenance, redecoration and or renovation. Generally, ongoing maintenance items, upgrading requirements, cosmetic works and minor defects or faults have not been included. These items will depend on your personal requirements and budget. The property age and type also needs to be taken into consideration.

### **Concealed Surfaces**

The inspection did not include breaking apart, dismantling, removing or moving objects, including but not limited to foliage, mouldings, roof insulation or sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances, or personal possessions.

The inspector cannot see inside walls, between floors, inside skillion roofing, behind stored goods or any other areas that are concealed or obstructed. The inspector did not dig, gouge, force or perform any other invasive procedures. Visible timbers have not been destructively probed or hit.

Some defects may only be visible once furniture and other items have been removed from a property or when alterations are carried out. Built-in cupboards are usually filled with personal items and clothing. Some exterior surfaces may be obscured due to overgrown vegetation. Therefore, we cannot comment on the condition of the surfaces obscured by these items or otherwise concealed.

### **Water Penetration**

Some water penetration problems and/or dampness do not become apparent and sometimes cannot be detected unless there has been recent heavy rain or prolonged periods of rain.

Roof drainage is not tested. Therefore, no guarantee is given or implied that the roof will remain weatherproof in all weather conditions. The very best roof drainage systems can fail in extreme weather sometimes impacted by conditions not related to the property under review. (Blocked or impaired stormwater drains for example)

### **Fire Protection Equipment & Ordinance Requirements**

These are not covered by this report and these matters should be checked with the statutory authority. Any fire protection equipment has not been tested, e.g. smoke detectors etc.

### **Hazardous Materials & Contamination**

Many building products with an asbestos cement component were in use prior to 1980 and are considered safe if left in their present state. The main concern with asbestos products is in relation to the sprayed Limpet Asbestos fibres which were generally used for acoustic and heat insulation in commercial buildings and these should not be tampered with before seeking expert advice which is freely available from Workcover. Our inspection and report does not cover any hazardous materials or prior use of the land and building or any chemicals applied to land and buildings, which may have caused contamination.

### **Retaining Walls & Structural Columns**

We are not engineers. Comment in respect of large and/or structural retaining walls and columns are beyond the scope of this report. It is not possible to determine from a visual inspection whether a retaining wall or column has been built in accordance with sound engineering principles and, even if it has, whether it is or will remain sound. An engineer should be consulted in any case where there are large, or structural, retaining walls, columns or similar building elements.

### **Appliances**

This report does not cover any matters relating to the operation of electrical or gas appliances. Any comments made in this regard are from a general observation only.

**Cracking/Settlement/Movement & Structural Integrity**

Where reference has been made in this report to cracking, settlement, movement or an opinion has been provided on structural integrity, **it is important to note that we are not experts in this area** and our advice is limited accordingly. If considered necessary, further advice should be obtained from a Structural Engineer before critical decisions are made relative to such matters. Any cracking reported should be monitored for further movement. If further movement is noted, a Structural Engineer should be consulted at the earliest opportunity. Cracking of masonry walls is very common in the ACT, particularly where there are volatile clay soils. There may be some superficial or hairline cracks that we consider have no structural implications which have not been identified.

**Electrical, Gas & Other Service Installations**

We are not licensed electricians, gas fitters or mechanical engineers. This report does not cover any matters relating to electrical and gas installations or any apparatus operated by electronic, mechanical or hydraulic means. You should satisfy yourself as to the operation and condition of any appliances or other installations. Any comments made in this regard are from general observation only. There has been no electrical, data, security or fire detection system testing or investigation.

**Plumbing & Drainage**

We are not licensed plumbers and a specialist inspection of the water service, plumbing and drainage system including roof drainage is excluded from this report. We recommend an inspection by a licensed plumber and drainer to identify any plumbing faults or drainage problems.

**Timber Pests**

If this report does not include one, we strongly recommend that an independent inspection and report be obtained from a specialised, accredited Pest Inspector to determine whether the property is free from infestation (whether active or dormant).

**Boundaries**

Unless otherwise stated the inspector has not gained access to any neighbouring properties and is therefore unable to comment upon the external state of any boundary fences and walls. The common areas of unit developments are not inspected. Any comments made in relation to common areas are from general observation only.

**Rural Property Inspection**

This inspection and report relates to the residential structure; rural improvements on the property are not inspected or reported on, any comments contained in this report relative to rural improvements are strictly observational.

**Special Purpose Reports**

This Property Report does not contain any assessment or opinion in relation to any item which is the subject of a **Special Purpose Property Report**, or any matter where the inspection or assessment of which is solely regulated by Statute. Special Purpose Property Reports include comment on the following: Common property areas, environmental concerns such as sunlight, privacy, streetscape and views, proximity of property to flight paths, railways and busy traffic or other neighbourhood issues; Noise levels; Health and safety issues including, but not limited to the presence of asbestos, lead or other hazardous materials; Heritage concerns; Security or fire protection systems; Climate control or water heating systems; Analysis of site drainage apart from surface water drainage; Swimming pools and spas; Detection and identification of illegal and unauthorized plumbing work; Durability of exposed finishes.

## Timber Pest Report

This inspection **DID NOT** include breaking, removing or moving objects. Floor and wall coverings, roof insulation, foliage, furniture, appliances and personal possessions may all limit the scope of inspection. The inspector does not have access to the inside of walls, between flooring, inside eaves and skillion roofing, and cannot move stored goods during an inspection. At **NO TIME** did the inspector use invasive procedures or bang/tap surfaces to reach conclusions. Where the property is occupied, please note that furnishings and household items may be concealing evidence of Timber Pests which may only be revealed when the items are moved. The inspector did not move furniture or stored goods or use invasive procedures to access any area of the property.

### Scope of the Report

This Report is confined to reporting infestation and/or damage caused by white ants (subterranean and damp wood termites), borers of seasoned timber and Timber Pests (wood decay fungi), present on the date of the Inspection. The Inspection did not cover any other pests and this Report does not comment on them. Dry wood termites and European House Borer (*Hylotrupes bujulus* Linnaeus) were excluded from the Inspection due to the extreme difficulty in locating the small colonies; however, they will be referred to if, in the course of the Inspection, any visual evidence of infestation happened to be found. Some species of termite and house borers, if discovered, will be reported (by law) to Government Authorities.

### Limitations

This report does not contain any assessment or provide an opinion with respect to:

- any area or item that was not, or could not be inspected
- a matter that is not within the inspector's expertise
- a matter, the inspection or assessment of which is solely regulated by statute
- any area/item that is the subject of a special-purpose timber pest inspection report

The inspector does not imply that inaccessible or partly inaccessible areas of the property were not, or have not been, infested by Timber Pests. This Report is not a guarantee that an infestation or future infestation and/or damage does not exist in any inaccessible or partly inaccessible areas of the property.

### Determining Extent of Damage

This Report is **NOT** a structural damage report. You agree that neither we nor the Inspector are responsible or liable for the repair of any damage, whether disclosed by our report or not. Our inspectors are not necessarily specialised builders and any inexperienced opinion provided with respect to timber damage **CANNOT** be relied upon. The Report will not state the full extent of any timber pest damage; rather, we may provide comment on the damage for your information. If evidence of Timber Pest activity and/or damage is reported in the structure(s) or the grounds of the property, then you must assume that there may be further concealed structural damage within the building(s). This concealed damage may only be found when invasive procedures are applied to reveal previously concealed timbers. In the case of Timber Pest activity and/or damage **WE STRONGLY RECOMMEND** an invasive Timber Pest Inspection is undertaken and a qualified person such as a Builder, Structural Engineer, or Architect be engaged to carry out a structural inspection to determine the full extent of the damage and repairs that may be required.

### Mould

Mould (also referred to as Mildew and non wood decay fungi) is not considered a Timber Pest. This report does not cover the inspection of Mould. If evidence of mould was observed during the inspection, it may be noted for your information. If you are concerned as to the possible health risk resulting from the presence of mould then you should seek advice from your local Council, State or Commonwealth Government Health Department or a qualified expert.

## IMPORTANT INFORMATION

The Purchaser is advised that this Report reflects the condition of the property existing at the time of the inspection date and may not reflect the current state. Timber Pests, particularly termites, may have gained entry to the property since the inspection date. Termites can, in a relatively short period, cause significant damage to both structural and non-structural timbers within and around the buildings of the property. Termites (white ants) may be difficult to detect and much of the damage caused may not be readily visible. If damage exists it may cost thousands of dollars to repair. It is, therefore, strongly recommended that you promptly arrange for an inspection in accordance with Australian Standard AS4349.3 if this report is being read after one hundred and eighty (180) days from the date of inspection.

If the Report indicated the presence of Termites, termite damage, or recommends any treatments or other inspections and reports, you should obtain copies of the treatment proposal, any certificates of treatments carried out, details of all repairs including copies of quotations, invoices and any other reports. It is strongly recommended that you arrange for an inspection in accordance with AS 4349.3 to verify that the treatment has been successful and carried out in accordance with AS 3660.2 and arrange for a further building inspection in accordance with AS 4349.1. The person carrying out the inspection and the company, partnership or sole trader that employs that person will have no liability to you for any damage or loss you may suffer as a result of your entering the contract to purchase the property or in connection with completing the purchase of the property as a result of your failure to heed the advice given in this report, and may use such failure in defence of any claim that you may later make against any of them.

### General

#### **Occupational Health & Safety Act**

*A non-residential building and the common property of some group residential buildings will fall within the definition of a workplace for the purposes of the Occupational Health and Safety Act,*

*The owners of workplaces must ensure that:*

- *premises are safe and without risk*
- *plant and substances are used without risk*
- *workers are trained in OH&S, are aware of their obligations and do, in fact, act in a safe manner*

*A pre-purchase building inspection may identify some safety issues in the common area but it is not an audit conducted for that specific purpose. It is essential that every Owners' Corporation or Company consult an appropriately qualified specialist to ensure it meets its legislative obligations.*

#### **Safe Working Temperatures for the Inspector**

*When the temperature of a workspace (for example a ceiling cavity) exceeds the level considered to be safe according to OH&S guidelines, the inspector will complete a risk assessment and the inspection will be limited accordingly. In the event that the inspector decides that the temperature exceeds safe working limits, generally, the inspection will be limited to the area immediately adjacent to the access for inspection.*

# WARRANTY AND USE OF THIS REPORT

This report is made solely for the use and benefit of:

1. **The Client** named in this report
2. **The Purchaser** of this property

**NO LIABILITY** or responsibility whatsoever, in contract or tort is accepted to any **Other Party** who may rely on the report wholly or in part. Any **Other Party** acting or relying on this report, wholly or in part, does so at their own risk.

**NO LIABILITY** shall be accepted on account of failure of the Report to notify any Termite activity and/or damage present at or prior to the date of the Report in any areas(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for inspection is denied by or to the Licensed Inspector (including but not limited to any area(s) or section(s) so specified by the Report).

The report is only an opinion of Residential Reports and is valid for one hundred and eighty (180) days from the date of inspection as per the Civil Law (Sale of Residential Property) Act. No liability will be accepted or claims considered after the expiration of this period of liability.

In the event that a defect is identified that has not been documented in this report Residential Reports must be notified before **ANY** remedial action is taken. **NO LIABILITY** shall be accepted where remedial action is taken prior to Residential Reports being advised of the defect and given the opportunity to re-inspect the property and identify the defect.

Copyright remains with Residential Reports, the report is not to be copied or reproduced without the written authority of the author.

This report supersedes any other report, verbal or written, given to you by this company in respect of this property. If items require clarification, please call our office for assistance.

#### **Department of Fair Trading**

Within 7 days of the preparation of this report the details as stated in the Civil Law Registrations Part 2, 7 (4) have been provided to the Department of Fair Trading as required.

Please feel free to contact our inspector at any time if you have questions or require clarification about the contents of this report prior to acting on this report.



**Signed on behalf of:**

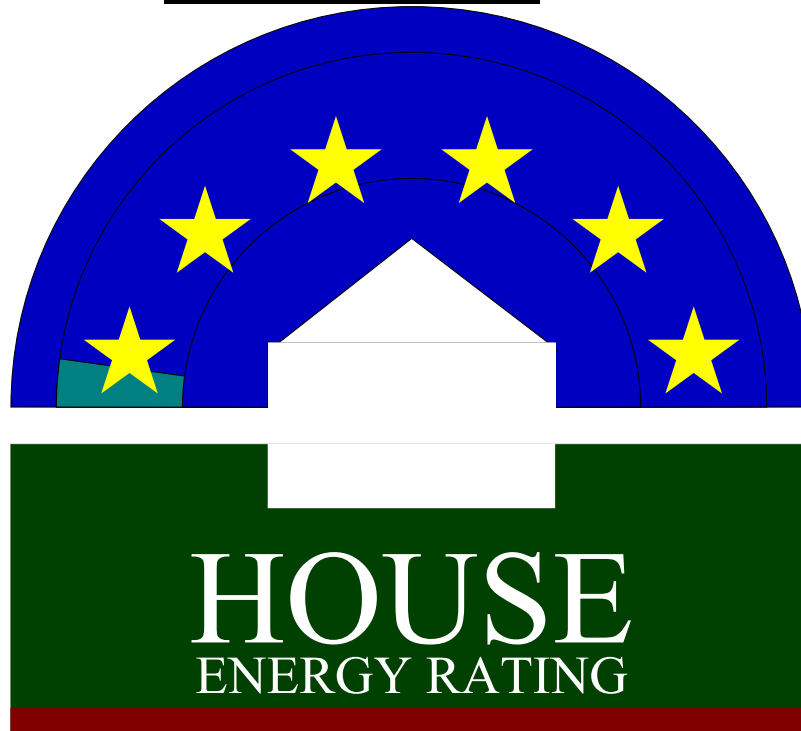
**Avonmore Investments Pty Limited trading as RESIDENTIAL REPORTS**

**ABN 97 381 180 850**

**Ian Watson - Inspector**



# FirstRate Report



**YOUR HOUSE ENERGY RATING IS:**  
in Climate: 24

**0 STARS**

**SCORE: -90 POINTS**

**Name:** Carolyn Stanton

**Ref No:** 9695

**House Title:** Block 6 , Section 19

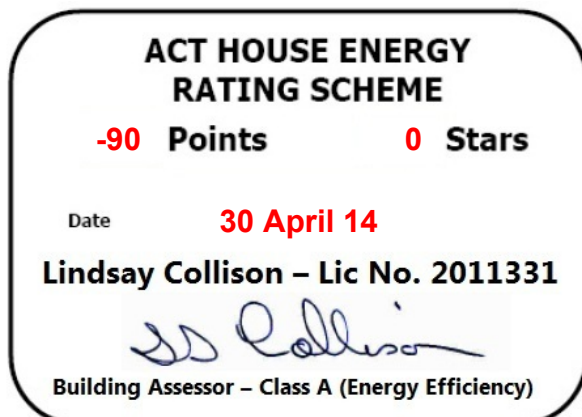
**Date:** 30-04-2014

**Address:** 5 Lutwyche Street  
Higgins

2615

**Reference:** C:\...\LUTWYCHE STREET HIGGINS 5 1404

This rating only applies to the floor plan, construction details, orientation and climate as submitted and included in the attached Rating Summary. Changes to any of these could affect the rating.



# IMPROVING YOUR RATING

The table below shows the current rating of your house and its potential for improvement.

Star Rating	POOR			AVERAGE				GOOD			V. GOOD	
	0 Star	★	★★	★★★	★★★★	★★★★★	★★★★★★	★★★★★★★	★★★★★★★★	★★★★★★★★★		
Point Score	-71	-70	-46	-45	-26	-25	-11	-10	4	5	16	17
Current	-90											
Potential	18											

Incorporating these design options will add the additional points required to achieve the potential rating shown in the table. Each point represents about a 1% change in energy efficiency. This list is only a guide to the range of options that could be used.

## Design options

## Additional points

Change ceiling insulation	R 4	23
Change added wall insulation	R 2.5	45
Change added floor insulation	R 2.5	11
Change curtain to	Heavy Drapes & Pelmet	20
Add westerly blinds	100 %	2
Seal Wall Vents		5
Seal Internal Doors		3

## DESIGN OPTIONS

The design option suggestions to improve this energy rating may be additional to elements already in place. For example, the option to install 'Heavy Drapes and Pelmet' will take into account windows that already have Heavy Drapes and Pelmet installed. Insulation recommendations will take into account existing insulation values.

Some recommendations for improvement will not be practical in all circumstances. For example, if the dwelling is built on a concrete slab or the external walls are solid brick, it would not be possible to install insulation.

<b>FirstRate Mode</b>
<b>Climate: 24</b>

**RATING SUMMARY for: Block 6 , Section 19, 5 Lutwyche Street, Higgins**

Assessor's Name: Lindsay Collison

Net Conditioned Floor Area: 70.9 m<sup>2</sup>

				Points		
Feature				Winter	Summer	Total
<b>CEILING</b>				<b>-15</b>	<b>-3</b>	<b>-18</b>
Surface Area:	0	Insulation:	-18			
<b>WALL</b>				<b>-41</b>	<b>0</b>	<b>-41</b>
Surface Area:	-23	Insulation:	-19	Mass:	0	
<b>FLOOR</b>				<b>-1</b>	<b>-1</b>	<b>-1</b>
Surface Area:	0	Insulation:	-1	Mass:	0	
<b>AIR LEAKAGE (Percentage of score shown for each element)</b>				<b>1</b>	<b>0</b>	<b>1</b>
Fire Place	0 %	Vented Skylights	0 %			
Fixed Vents	38 %	Windows	23 %			
Exhaust Fans	0 %	Doors	31 %			
Down Lights	0 %	Gaps (around frames)	9 %			
<b>DESIGN FEATURES</b>				<b>0</b>	<b>1</b>	<b>1</b>
Cross Ventilation	1					
<b>ROOF GLAZING</b>				<b>0</b>	<b>0</b>	<b>0</b>
Winter Gain	0	Winter Loss	0			
<b>WINDOWS</b>				<b>-34</b>	<b>-22</b>	<b>-56</b>
Window Direction	Area		Point Scores			
	m2	%NCFA	Winter* Loss	Winter Gain	Summer Gain	Total
<b>NNE</b>	2	3%	-6	4	-2	-4
<b>ESE</b>	10	14%	-30	9	-11	-32
<b>SSW</b>	4	5%	-7	2	-2	-7
<b>WNW</b>	4	6%	-13	7	-7	-13
<b>Total</b>	20	28%	-57	23	-22	-56

\* Air movement over glazing can significantly increase winter heat losses. SEAV recommends heating/cooling duct outlets be positioned to avoid air movement across glass or use deflectors to direct air away from glass.

The contribution of heavyweight materials to the window score is -4 points

			Winter	Summer	Total
<b>RATING</b>	<b>No Stars</b>	<b>SCORE</b>	<b>-89</b>	<b>-25</b>	<b>-90*</b>

\* includes 24 points from Area Adjustment



# Detailed House Data

## House Details

ClientName Carolyn Stanton  
HouseTitle Block 6 , Section 19  
StreetAddress 5 Lutwyche Street  
Suburb Higgins  
Postcode 2615  
AssessorName Lindsay Collison  
FileCreated 30-04-2014  
Comments

## Climate Details

State  
Town Canberra  
Postcode 2600  
Zone 24

## Floor Details

<u>ID</u>	<u>Construction</u>	<u>Sub Floor</u>	<u>Upper</u>	<u>Shared</u>	<u>Foil</u>	<u>Carpet</u>	<u>Ins RValue</u>	<u>Area</u>
1	Timber	Enclosed	No	No	No	Carp	R0.0	70.1m <sup>2</sup>
2	Timber	Enclosed	No	No	No	Vinyl	R0.0	9.9m <sup>2</sup>

## Wall Details

<u>ID</u>	<u>Construction</u>	<u>Shared</u>	<u>Ins RValue</u>	<u>Length</u>	<u>Height</u>
1	Brick Veneer	No	R0.0	30.4m	2.4m
2	Brick Veneer	No	R0.5	6.0m	2.4m

## Ceiling Details

<u>ID</u>	<u>Construction</u>	<u>Shared</u>	<u>Foil</u>	<u>Ins RValue</u>	<u>Area</u>
1	Attic - Standard	No	No	R1.0	80.0m <sup>2</sup>

## Window Details

<u>ID</u>	<u>Dir</u>	<u>Height</u>	<u>Width</u>	<u>Utility</u>	<u>Glass</u>	<u>Frame</u>	<u>Curtain</u>	<u>Blind</u>	<u>Fixed &amp; Adj Eave</u>	<u>Fixed Eave</u>	<u>Head to Eave</u>
1	NNE	2.0m	0.2m	No	SG	TIMB	NC	No	0.0m	1.0m	0.0m
2	NNE	1.2m	1.2m	No	SG	ALSTD	VE	No	0.0m	0.7m	0.0m
3	ESE	1.2m	2.4m	No	SG	ALSTD	VE	No	0.0m	0.7m	0.0m
4	ESE	1.2m	2.6m	No	SG	ALSTD	HD	No	0.0m	0.7m	0.0m
5	SSW	1.2m	1.6m	No	SG	ALSTD	HD	No	0.0m	0.7m	0.0m
6	SSW	1.0m	0.6m	Yes	SG	ALSTD	NC	No	0.0m	0.7m	0.0m
7	SSW	1.0m	1.2m	Yes	SG	ALSTD	NC	No	0.0m	0.7m	0.0m
8	WNW	0.9m	0.5m	Yes	SG	TIMB	NC	No	0.0m	0.7m	0.0m
9	WNW	1.0m	1.9m	No	SG	ALSTD	NC	Yes	0.0m	0.7m	0.0m
10	WNW	1.2m	1.7m	No	SG	ALSTD	HD	No	0.0m	0.7m	0.0m
11	ESE	1.5m	2.4m	No	SG	ALSTD	HD	No	0.0m	0.7m	0.0m

## Window Shading Details

<u>ID</u>	<u>Dir</u>	<u>Height</u>	<u>Width</u>	<u>Obst Height</u>	<u>Obst Dist</u>	<u>Obst Width</u>	<u>Obst Offset</u>	<u>LShape Left Fin</u>	<u>LShape Left Off</u>	<u>LShape Right Fin</u>	<u>LShape Right Off</u>
1	NNE	2.0m	0.2m	0.0m	0.0m	0.0m	0.0m	5.0m	0.0m	0.6m	0.9m
3	ESE	1.2m	2.4m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.2m	0.4m
11	ESE	1.5m	2.4m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	3.0m	0.0m

## Zoning Details

Is there Cross Flow Ventilation ?      Good

### Air Leakage Details

Location      Suburban  
Is there More than One Storey ?      No  
Is the Entry open to the Living Area ?      No  
Area of Heavyweight Mass      0m<sup>2</sup>  
Area of Lightweight Mass      0m<sup>2</sup>

	<u>Sealed</u>	<u>UnSealed</u>
Chimneys	0	0
Vents	0	2
Fans	0	0
Downlights	0	0
Skylights	0	0
Utility Doors	0	3
External Doors	1	0

Unflued Gas Heaters      0  
Percentage of Windows Sealed      98%  
Windows - Average Gap      Small  
External Doors - Average Gap      Small  
Gaps & Cracks Sealed      Yes

## Rater Comments

### House Details

ClientName	Carolyn Stanton
HouseTitle	Block 6 , Section 19
StreetAddress	5 Lutwyche Street
Suburb	Higgins
Postcode	2615
AssessorName	Lindsay Collison
FileCreated	30-04-2014

### Rater Comments

#### MEASUREMENTS USED IN THIS ASSESSMENT

The Energy Rating recorded in this assessment is determined by assessing many elements of the structure and interior treatments including window and floor coverings. The area of external walls and windows, ceiling and floors are part of the assessment.

Some measurements used in this assessment may be nominal. Every effort is made by the assessor to accurately calculate the dimensions of property. However, often accurate and comprehensive plans indicating all dimensions of an existing property, particularly following alterations and extensions are not always available. The reader of this report should not rely on the accuracy of any dimensions used when making critical decisions relating to those dimensions. The assessor will not accept any liability should any discrepancy be revealed.

#### DESIGN OPTIONS

The design option suggestions to improve this energy rating may be additional to elements already in place. For example, the option to install 'Heavy Drapes and Pelmet's' will take into account windows that already have Heavy Drapes and Pelmet's installed. Insulation recommendations will take into account existing insulation values.

Some recommendations for improvement will not be practical in all circumstances. For example, if the dwelling is built on a concrete slab, it will be possible to install floor insulation.

#### DOOR SEALS AND WEATHER STRIPS

A wooden framed door is only considered to be sealed when a draft extruding device is fitted to the bottom of the door AND sealing tape or felt is fitting to the timber frame around the door opening.

#### WINDOW GLAZING RATIOS

Glazing areas in one direction greater than 25% of the nett conditioned floor area will reduce the Energy Efficiency Rating.

# Energy Efficiency Rating Fact Sheet

**Residential Reports Inspectors are ALL  
Licenced Class A Energy Efficiency Assessors**

## QUICK FACTS

- Sellers of residential properties are required to provide an Energy Efficiency Rating (EER) to potential buyers. (*This is known as mandatory energy efficiency disclosure.*)
- The EER forms part of the Sale Contract and must be published in all advertising material
- The EER rating system uses computer simulations to assess the potential thermal comfort of your home. The more stars, the less likely the occupants need cooling or heating to stay comfortable.
- The ACT Government has two systems in place for Energy Ratings:
  - one is for new homes - (2nd Generation Software) and
  - one is for established homes – (1st Generation Software)**Residential Reports (and all other companies preparing reports for the sale of a property) uses 1st Generation Software.**
- The consumption of energy in the home for heating, cooling, hot water or lighting and other appliances **IS NOT** considered when calculating the EER rating.

## WHAT IS RATED?

The rating is dependent on:

- Layout of the home
- Construction of its roof, walls, windows and floor
- Wall, floor and ceiling insulations
- Orientation of windows and shading of the sun's path and local breezes
- Influence of the local climate



## WHY IS THERE A DISCREPANCY BETWEEN MY OLD EER AND MY NEW EER?

- Increasingly, in a number of circumstances particularly where new homes have been rated using 2nd generation software and are being offered for sale where the rating is conducted using 1st generation software, there can be a significant variation between the two ratings:
  - 1st generation software rates to 6 stars
  - 2nd generation software rates to 10 stars
- ACT Legislation currently **PROHIBITS** Inspectors from assuming insulation values which may have been the case previously. Documented proof or access for a visual sighting is **NOW REQUIRED** to verify the existence and rating of insulation.

When you engage Residential Reports to complete your EER you have the peace of mind of knowing the Inspector undertaking your assessment is licensed in the ACT as a Class A Energy Assessor and your Energy Rating is calculated using software approved by the ACT Government.

Further information is available via the ACT Planning & Land Authority

[http://www.actpla.act.gov.au/topics/hiring\\_licensing/employ\\_professional/energy\\_assessors](http://www.actpla.act.gov.au/topics/hiring_licensing/employ_professional/energy_assessors)



MECON Winsure Insurance Group  
A.B.N 29 059 310 904  
AFSL 253106

[www.mecon.com.au](http://www.mecon.com.au) / [www.winsure.com.au](http://www.winsure.com.au)

Tuesday, September 3 2013

**CERTIFICATE OF CURRENCY**

**The Insured:** Avonmore Investments Pty Ltd T/as Residential Reports  
**Effected With:** Certain underwriters at Lloyd's  
**Policy Class:** Professional Indemnity  
**Insured's Address:** 538 Glen Eira Road CAULFIELD EAST VIC 3145  
**Policy Number:** HPI908-3055  
**Professional Services:** Pre purchase building inspections and real estate activities  
**Period of Insurance:** 06-09-2013 to 06-09-2014 at 4:00pm Local Time  
**Retroactive Date:** 06-09-2004  
**Limits of Liability:** **A\$1,000,000.00** any one claim and **A\$1,000,000.00** in the aggregate for all claims made during period of insurance  
**Extensions:** As per policy  
**Excess:** **A\$5,000.00** each and every loss costs inclusive  
**Policy Wording:** WINSURE\_PI\_08

Signed on behalf of certain underwriters at Lloyd's by MECON Winsure Insurance Group Pty Ltd

Kind regards,

A handwritten signature in black ink, appearing to read 'M. Boon'.

Matthew Boon  
General Manager  
MECON Winsure Insurance Group Pty Ltd

SYDNEY  
Level 5, 50 Margaret Street  
Sydney NSW 2000 Australia  
PO Box R1789  
Royal Exchange NSW 1225  
Tel: (02) 9252 1040  
Fax: (02) 9252 1050

MELBOURNE  
271-273 Wellington Road  
Mulgrave VIC 3170  
PO Box 8226 Monash University LPO  
Clayton VIC 3800  
Tel: (03) 8562 9180  
Fax: (03) 8562 9181

BRISBANE  
Suite 21, Level 3, 50-56 Sanders Street  
Upper Mt Gravatt QLD 4122  
PO Box 6037  
Upper Mt Gravatt QLD 4122  
Tel: (07) 3146 0100  
Fax: (07) 3114 0445

# TAX INVOICE

## PAYMENT PENDING

As per terms and conditions in the  
Residential Reports Client Guarantee



### Job Number 9695

Please ensure this number is used when making payment

30 April 2014

Carolyn Stanton

**For the Property at:** 5 Lutwyche Street Higgins ACT 2615

RAPID INSPECTIONS PACKAGE		
ESDD conveyancing file fees (no GST)	83.40	
Drainage Plans (no GST)	20.70	
ESDD EER Lodgement Fee (no GST)	29.70	
Property Inspection and Report (package price)	260.00	
Pest Inspection and Report (package price)	321.20	
Building Compliance Inspection and Report (package price)	260.00	
1 <sup>st</sup> Rate Energy Efficiency Inspection & Report	0.00	
GST INCLUDED IN TOTAL		76.47
<b>TOTAL</b>		<b>\$975.00</b>

*thank you for your business*

PAYMENT OPTIONS	
Credit Card	Please call our office on 6288 0402 to provide card details. Your account is not debited until the day reports are provided to you. By calling us with these details as soon as possible, you will ensure there is no delay when reports are ready to be released. A 1.8% surcharge applies.
Direct Deposit	Account Name: Residential Reports BSB: 012-997 Account Number: 3521 72543 Reference: 9695 <b>IMPORTANT: PLEASE ensure this unique ID is used</b>
Cash or Cheque	Can be provided to your inspector on the day. Please notify our office if you choose this option so we can note it on their job sheet. Cheques made payable to 'Residential Reports' please.

Avonmore Investments Pty Limited trading as Residential Reports ABN 97 381 180 850

35 Poynton Street Hughes ACT 2605 p 6288 0402 f 6288 9516 e info@residentialreports.com.au

**We are a member of the MASTER BUILDERS ASSOCIATION & THE ACT REAL ESTATE INSTITUTE**

[residentialreports.com.au](http://residentialreports.com.au)



## CONVEYANCING PART 2

No information is provided in respect of electrical, drainage or sewer matters and or to the location of overhead power lines or underground cables in relation to the building.

	<u>Yes</u>	<u>No</u>
1. (a) Is this a government or ex government house?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) If yes, is there a building file with approvals on it?	<input type="checkbox"/>	<input type="checkbox"/>
2. Is there any record of incomplete building work on the building file? See file copies attached	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Are there any records on the building file of current housing Indemnity insurance policies for building work? (Current within 5 years) See file copies attached	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Are there any records on the building file showing building applications still being processed? (Current within 3 years) See file copies attached	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Are there any records on the building file of current notices issued over the property? See file copies attached	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If available, copies of the following documents are provided:		
• Certificate of Occupancy	<input checked="" type="checkbox"/>	<input type="checkbox"/>
• Survey Certificates	<input checked="" type="checkbox"/>	<input type="checkbox"/>
• Approved Building Plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>
• Ex government Building Plans	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If requested:		
• Drainage Plan(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Search officer comments (if any?)

Search officer initials: Connie

Cost of application: \$ 104.10

Date completed: 30/04/2014

**Please Note:** Building approvals that have been generated via eDevelopment will be issued with a project number prefixed by the letter B. Initial building approval documentation will be identified with project number B20XXXXX only but will be referenced as B20XXXXX/A on the Certificate of Occupancy and Use. Any amendments to the original approval will be issued with the project number and an alphanumeric digit. The first amendment will be identified as B20XXXXX/B, the second amendment B20XXXXX/C etc.





Regulation 69A

Australian Capital Territory

Building Ordinance 1964-69

Canberra Building Regulations

CERTIFICATE AS TO FITNESS FOR OCCUPANCY AND USE

I certify that a **BRICK VENEER RESIDENCE** .....  
on Block **6** ..... of section **19** ..... at **HIGGINS** .....  
is fit for occupation and use.

Plan No. **18586** .....

Permit Holder **STOCKS & HOLDINGS Pty LTD.** .....

Lessee **STOCKS & HOLDINGS Pty LTD.** .....

.....  
Deputy Proper Authority

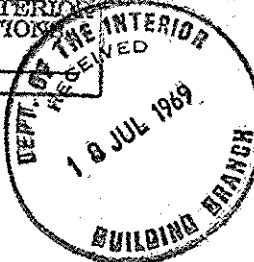


11449

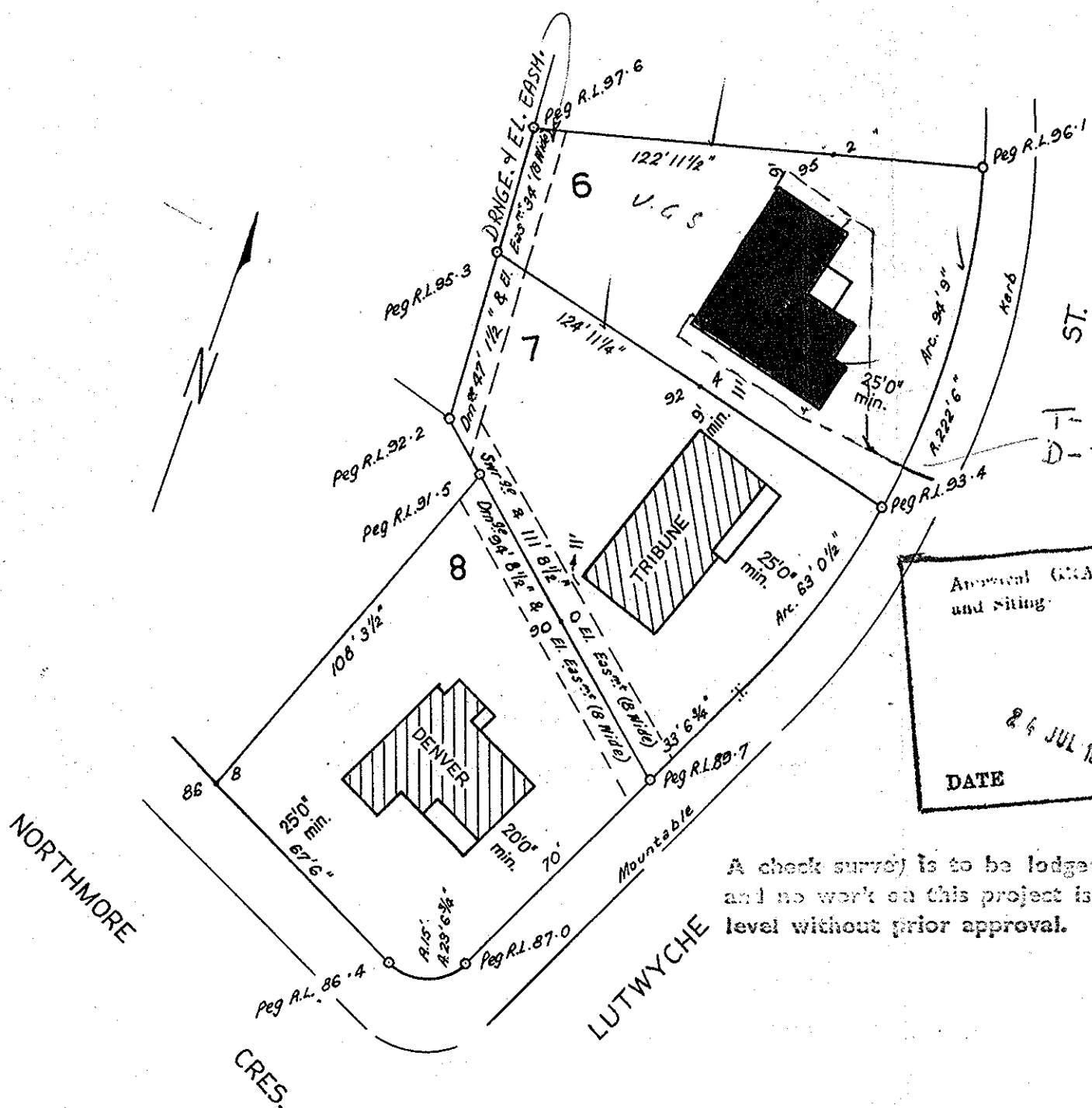
.....  
Date **18 JUN 1970** .....

LANDS BRANCH DEPT. OF THE INTERIOR  
CANBERRA BUILDING REGULATIONS

PLAN No. B/S 18536



S1/3



T-11'-6"  
D-2'-3"

Approval (GRANTED) as to location and siting

*[Signature]*  
Delegates  
NATIONAL CAPITAL  
DEVELOPMENT COMMISSION

DATE 26 JUL 1969

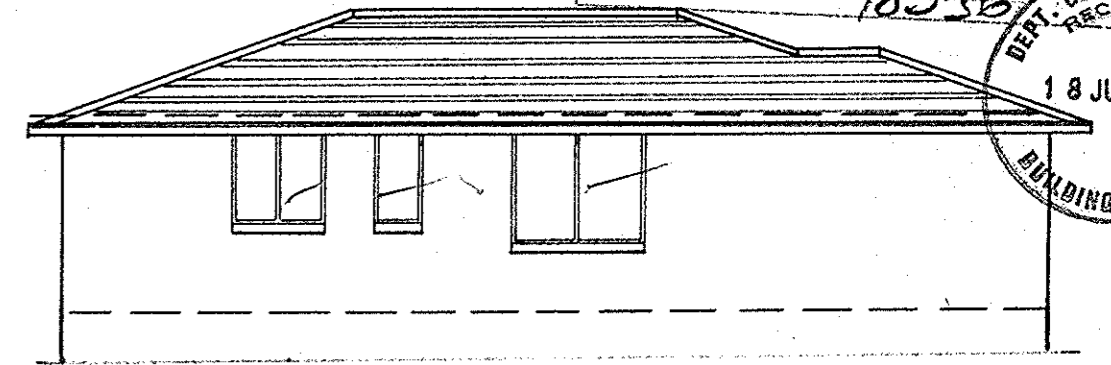
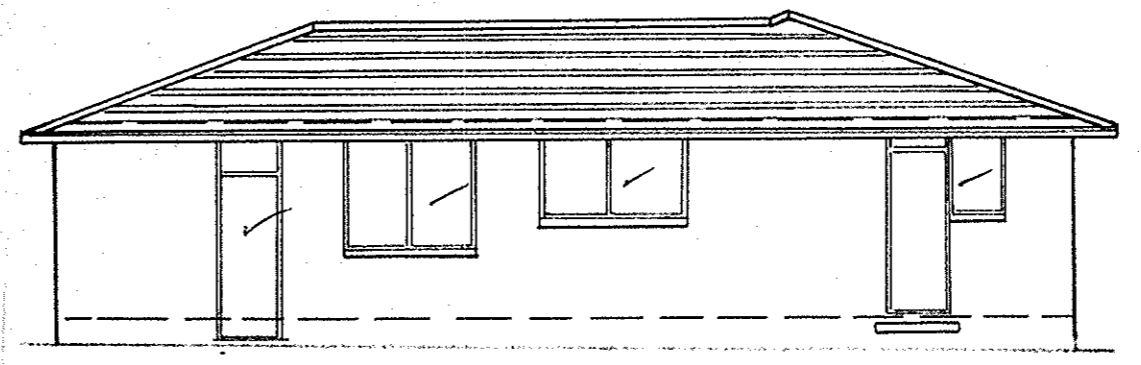
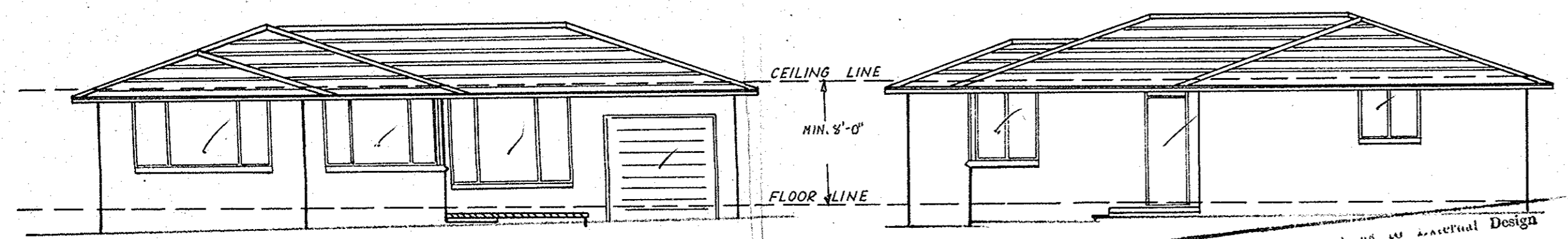
A check survey is to be lodged at the Building Section and no work on this project is to proceed above ground level without prior approval.

BLOCKS 6, 7 & 8 SECTION 19  
HIGGINS

Scale: 40 feet to an inch.  
Assumed Datum.

P.R. SIMMS,  
Registered Surveyors,  
P.O. Box 21,  
WATSON A.C.T. 2602

Ref: 2063



Approval GRANTED as to External Design and Siting  
 DATE 24 JUL 1969  
 Delegate  
 NATIONAL CAPITAL DEVELOPMENT COMMISSIONS

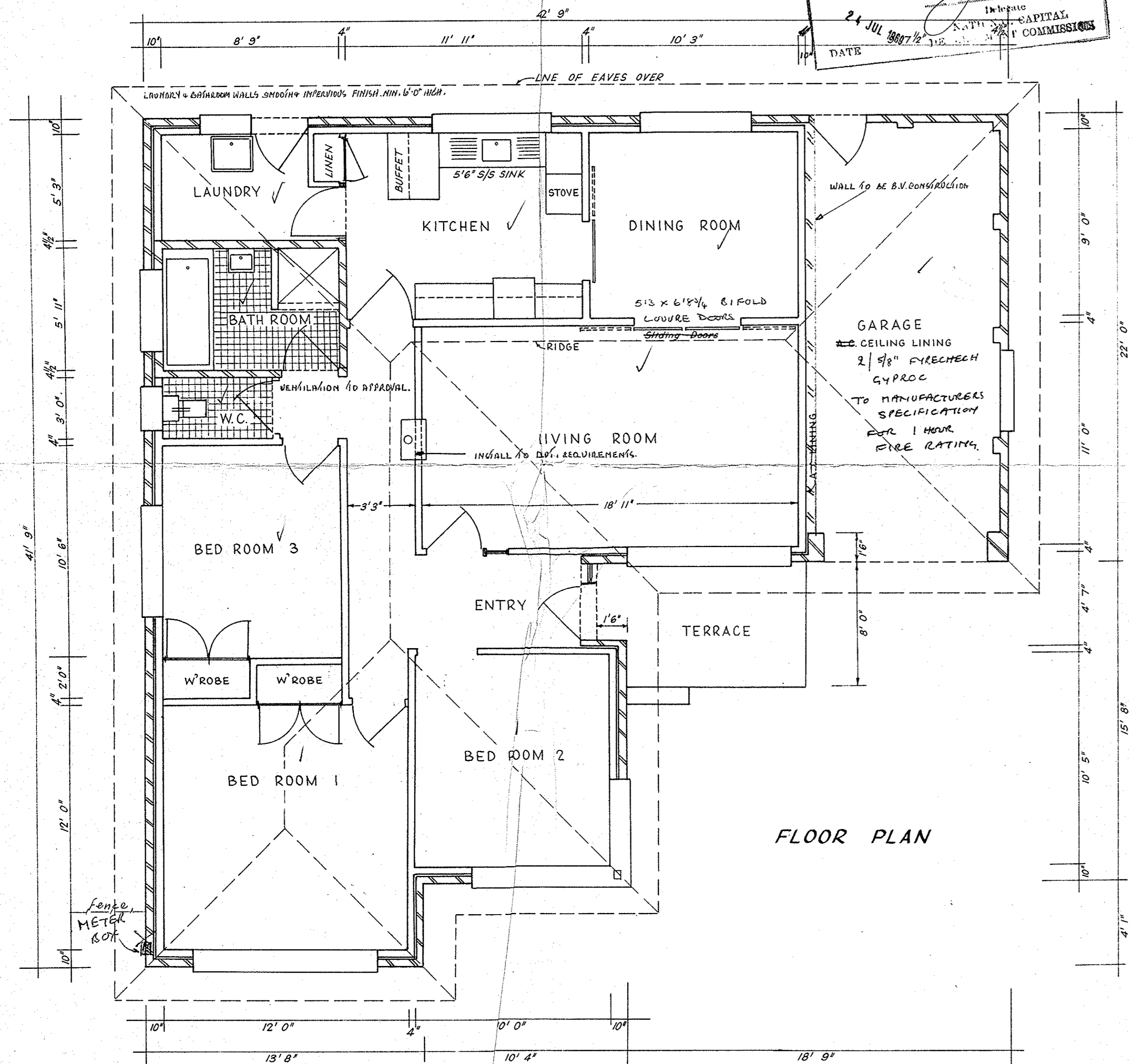
FRONT ELEVATION

SIDE ELEVATION

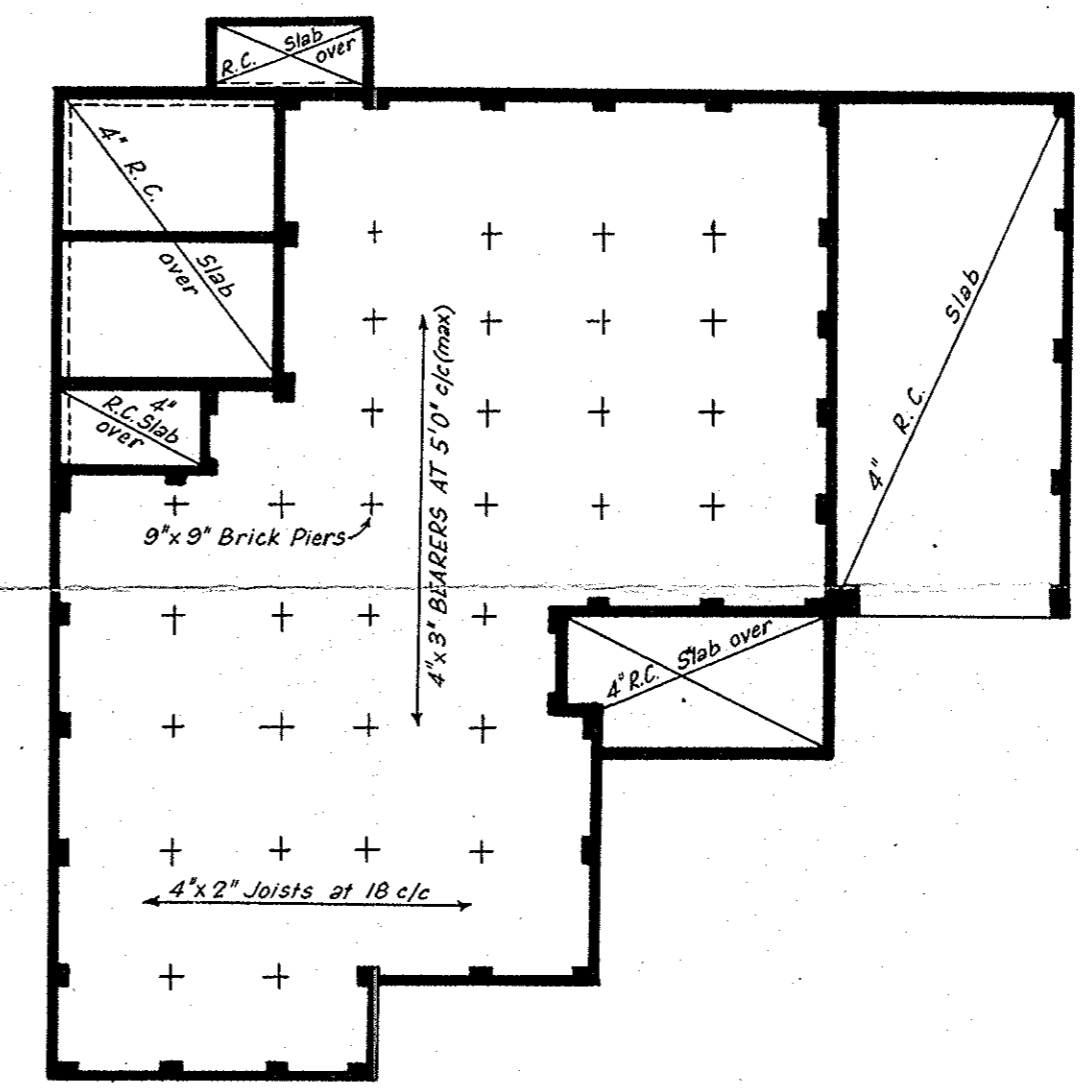
BACK ELEVATION

SIDE ELEVATION

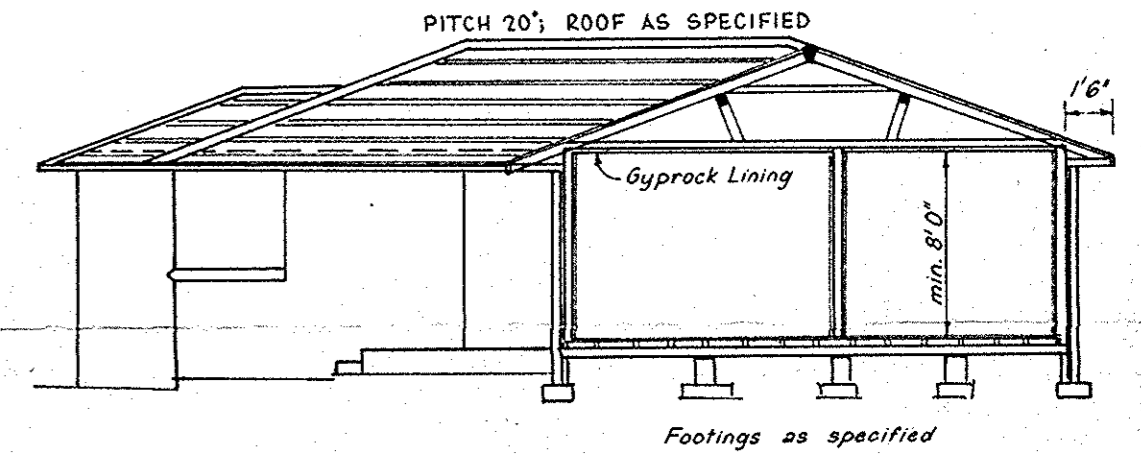
S1/3



FLOOR PLAN



FOUNDATION PLAN



SECTION

APPROVED SUBJECT TO COMPLIANCE WITH THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS.  
 EXCEPT WHERE SUBJEC TO AND SUPERSEDED BY THE BUILDING MANUAL

EXAMINED BY  
 25/7/69  
 ENGINEER FOR WATER SUPPLY AND SEWERAGE  
 28/7/69  
 SENIOR ELECTRICAL ENGINEER  
 STRUCTURAL ENGINEER  
 ARCHITECT AND VALUER  
 SENIOR TECHNICAL OFFICER  
 1/1969  
 PUBLIC AUTHORITY  
 20 AUG 1969

BLOCK 6 SECTION 19  
 DIVISION OF HIGGINS

"CONSUL" (WITH GARAGE)  
 STOCKS & HOLDINGS LTD.

SECTION 19

LANDS BRANCH DEPT. OF THE INTERIOR  
 CANBERRA BUILDING REGULATIONS  
 PLAN No. B/S 18536  
 BLOCK 6

BLOCK 8

BLOCK 7

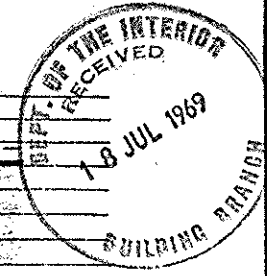
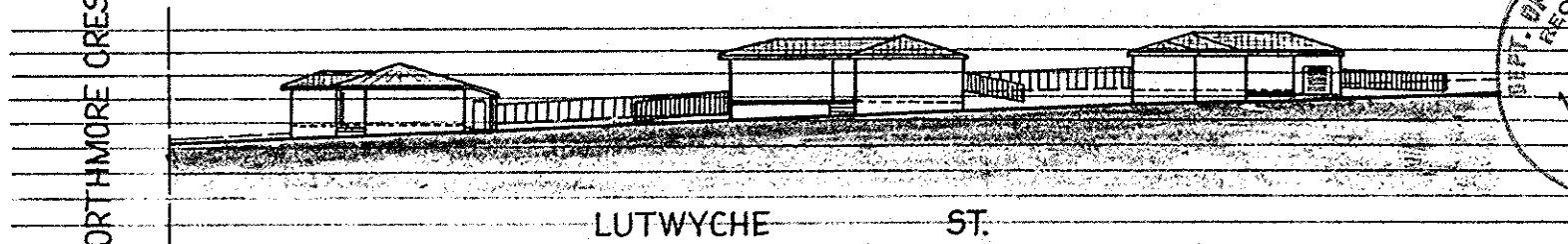
DENVER

TRIBUNE

CONSUL

100  
90  
80  
70

NORTHMORE CRES.



LUTWYCHE ST.

EXTERNAL FINISHES:

WALLS:	RED TEXTURE	GOULBURN CREAM FACE	OATMEAL CREAM
ROOF:	MARBLE GREY	RUSSET	OPAL BLUE

*51/3*

SECTION 20

Approval GRANTED as to External Design  
 and Siting  
*[Signature]*  
 24 JUL 1969  
 EMBASSY

BLOCK 6

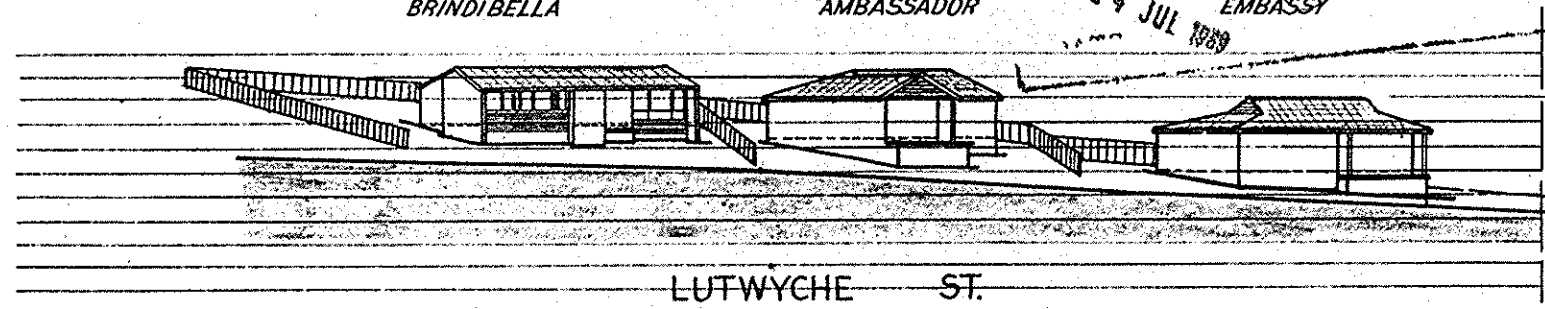
BLOCK 7

BLOCK 8

BRINDIBELLA

AMBASSADOR

120  
110  
100  
90  
80  
70



NORTHMORE CRES.

LUTWYCHE ST.

EXTERNAL FINISHES:

WALLS:	GOULBURN CREAM FACE	MANGANESE BASE WHITE PAINTED TOP	GOULBURN CREAM TEXTURE
ROOF:	CHAR BROWN	CHARCOAL	FLAME

SCALE: 40 FEET TO AN INCH  
 DATUM: ASSUMED  
 DRAWN: SURVEY DRAFTING &  
 MAPPING SERVICE  
 CANBERRA A.C.T.

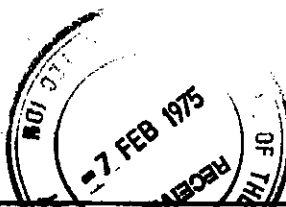
STREET ELEVATIONS OF  
 PROPOSED DWELLINGS

STOCKS & HOLDINGS LTD.

APPLICATION FOR APPROVAL OF PLANS AND SPECIFICATIONS

BL1/6(3/73)

Name of Applicant <b>RICHARD JOHN &amp; HELEN ANNE SHEPPARD.</b>	Address (Show P.O. Box No. if any) <b>5. LUTWYCHE. STREET. HIGGINS.</b>
---	--

Name of lessee/owner of parcel of land 	Address <b>07-751404M 000600</b>
---	-------------------------------------

Description of land on which the building work is to be carried out.	Section <b>6</b>	Division <b>HIGGINS.</b>
To be specified in accordance with the appropriate classification in the Building Manual.	Type of Construction <b>Sw</b>	Cost <b>\$ 1019.</b>
	Class of Occupancy <b>SWIMMING POOL.</b>	Total Floor Area where applicable

This application is for:-

(Please tick (✓) appropriate box)

New work       Amendment to approved plan       Amendment to plan not yet approved

I hereby apply for approval of the attached plans and specifications.

**7/2/75**  
Date

*R. Sheppard*  
Signature of Applicant

To be completed if application made otherwise than by the lessee/owner, his solicitor or architect.

I hereby authorise the abovenamed applicant of the address indicated to make this application on my behalf.

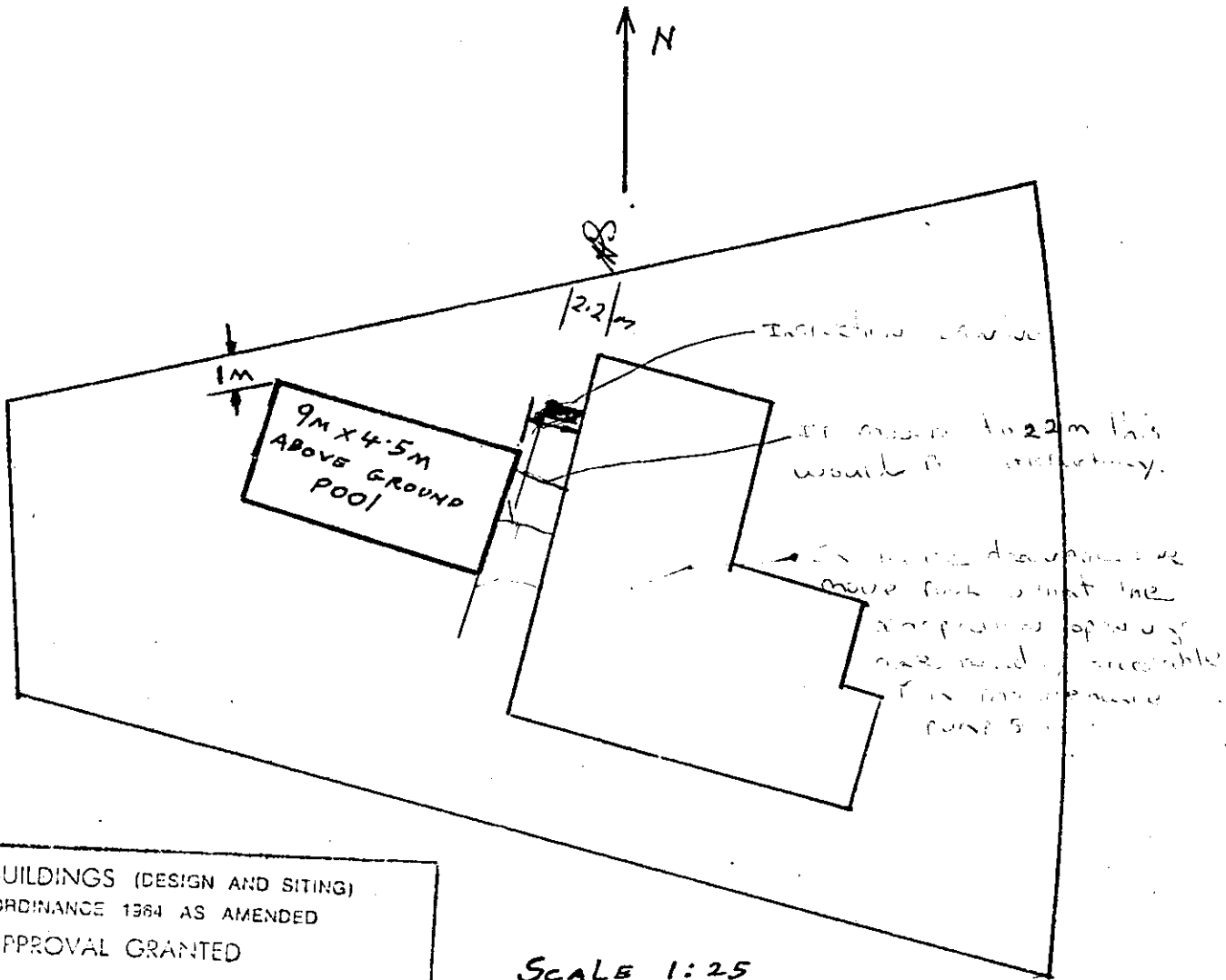
\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of lessee/owner

NO SURVEY CERTIFICATE REQUIRED

FOR OFFICE USE ONLY	Squareage for Fees <b>MIN FEE.</b>	Plans Numbered <b>18536/A</b>	Building Covenant <b>\$ Pool</b>
	Total Fees Payable <b>\$6-00.</b>	Plans <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Not approved <b>APPROVED FOR CONSTRUCTION BY THE HOLDER OF A CLASS LICENCE</b>	
	Receipt/Docket No.	DEPARTMENT OF THE CAPITAL TERRITORY BUILDING CONTROLLER <i>R. Sheppard</i> 7 MAR 1975 Date	

PLANS/FILE No. 18536/1A  
 Received Building Section  
 7 FEB 1975 3/3  
 Dept. of the Capital Territory



BUILDINGS (DESIGN AND SITING)  
 ORDINANCE 1364 AS AMENDED  
 APPROVAL GRANTED  
 18 FEB 1975  
 DELEGATE *[Signature]*  
 NATIONAL CAPITAL  
 DEVELOPMENT COMMISSION

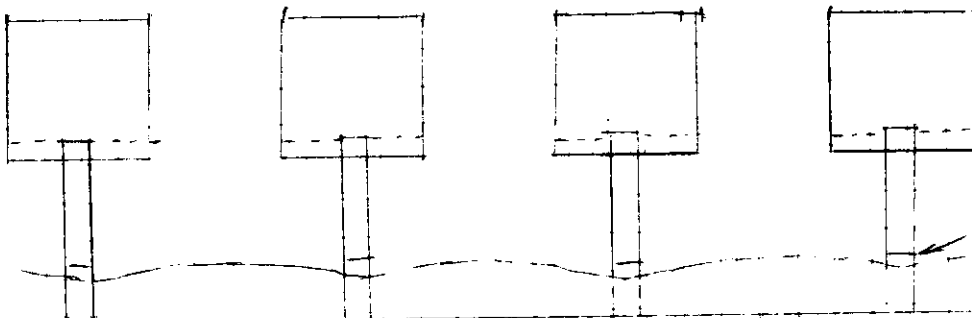
SCALE 1:25

BLOCK 6 SECTION 190 SURVEY CERTIFICATE REQUIRED

HIGGINS.

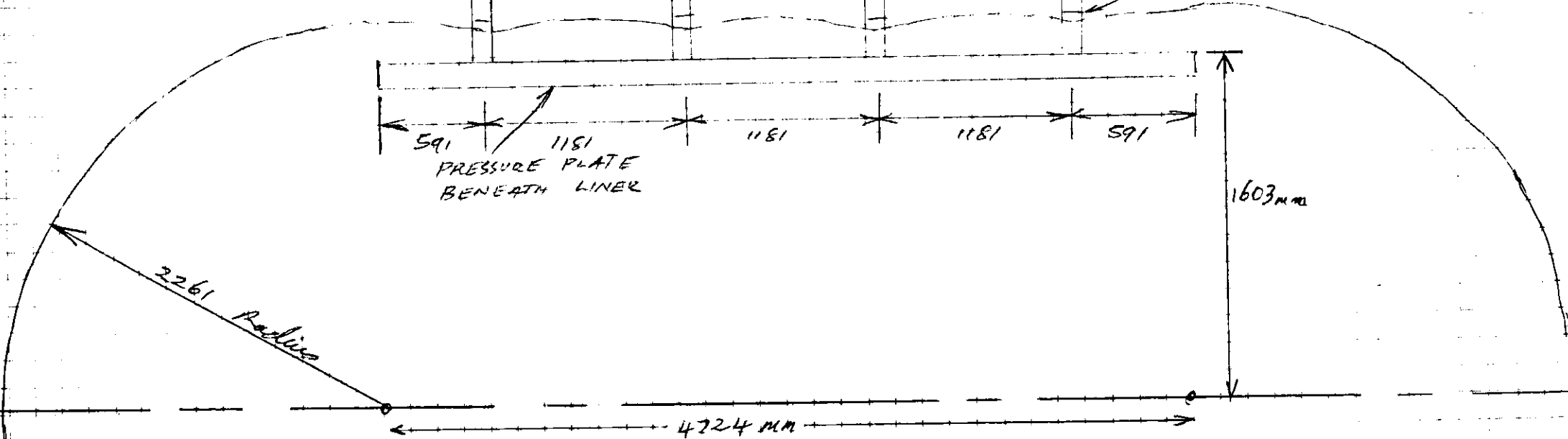
Building is proposed to be covered with the following...

HALF PLAN  
OF CLARK MODEL 3015  
POOL 30' x 15' x 4' deep



CONCRETE THRUST  
BLOCKS (8 No)  
18" x 18" x 18"

VERTICAL SUPPORTS



TRANS/FILE No. 18536/19  
Received Building Section  
7 FEB 1975  
3/3  
Civil Territory



WHEN ORDERING SPARE PARTS  
PLEASE STATE ITEM NO.  
DESCRIPTION AND PART NO.

PLANE/FILE No. 18536/A  
Received Building Station  
7 FEB 1975  
Dept. of the Capital Territory  
3/3

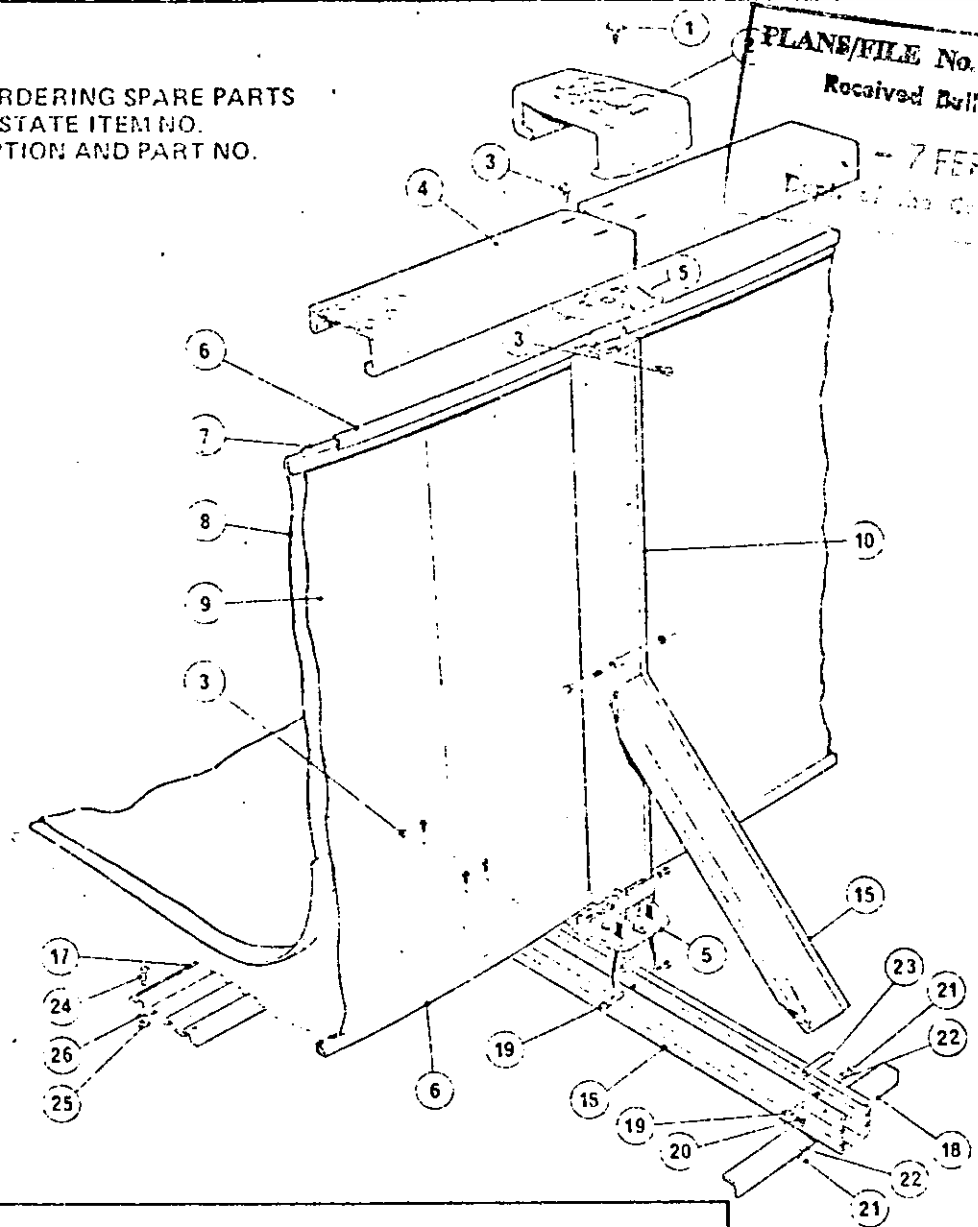


FIG. 1

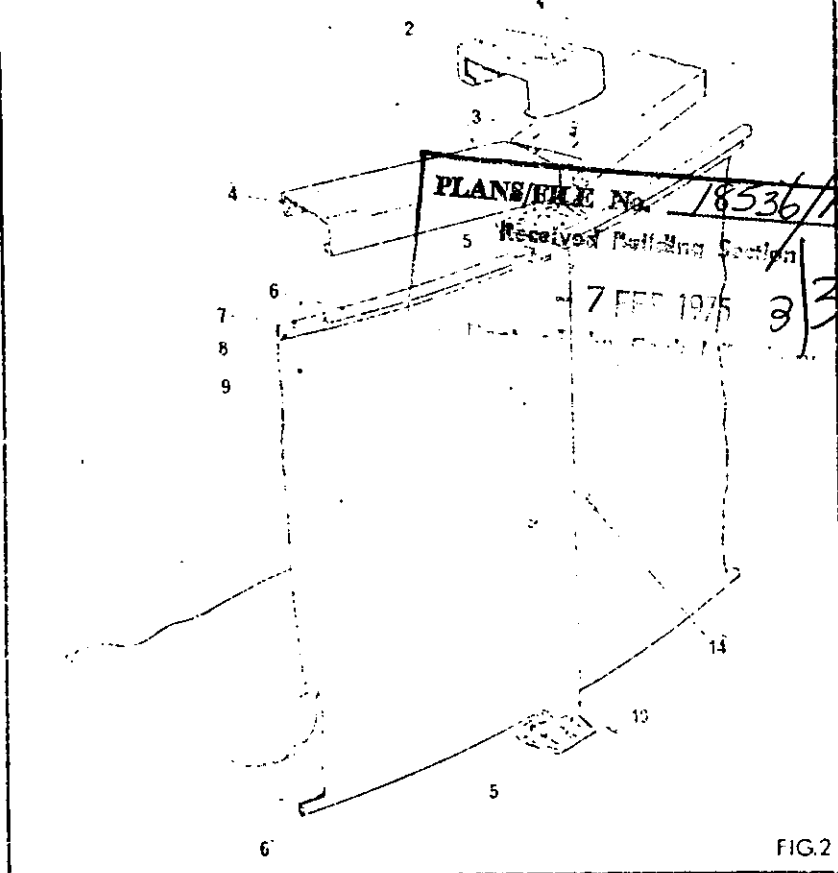
ITEM	PART NO.	DESCRIPTION	NO. OFF			
			2012	2412	3015	3815
1	059-02	Cover Plate Screw hex. headed	14	16	20	24
2	016-00	Cover Plate	14	16	20	24
3	001-06	Metal Thread Screw self tapping	100	118	152	184
4	012-02	Base	14	16	20	24
5	008-02	Connector Plate	28	32	40	48
6		Rails				
	006-03				28	28
	006-02		4	8	12	
	006-04		24	24		
7	6603	Coping Strips	28	32	40	48
8		Pool Liner	1	1	1	1
9		Pool Wall	1	1	1	2
10	007-01	Vertical Support	14	16	20	24
11	6921	Plastic Cover Strip	1	1	1	2
12	6920	Wall Nuts, Bolts and Washers	45	45	45	90
13	6819	Liner Repair Kit	1	1	1	1
14	603-03	Grommets	40	40	48	48
15	017-07	Diagonal Brace	4	6	8	12
16	018-04	Base Channel	4	6	8	12
17	031-07	Pressure Plate	4	6	8	12
18	032-04	Skid Member	4	6	8	12
19	042-05	Bolts-Frame	16	24	32	48
20	074-07	Skid Member Bolts	8	12	16	24
21	048-09	Nut	24	36	48	72
22	010-07	Washer	48	72	96	144
23	020-04	Spacer	16	24	32	48
24	002-01	Bolt-Pressure Plate round headed	4	8	12	20
25	001-06	Nut	4	8	12	20
26	001-08	Washer	4	8	12	20

THE MANUFACTURER WILL ACCEPT NO RESPONSIBILITY FOR DAMAGE CAUSED TO POOLS IF ERRECTED OTHER THAN IN ACCORDANCE WITH THE FOLLOWING INSTRUCTIONS.

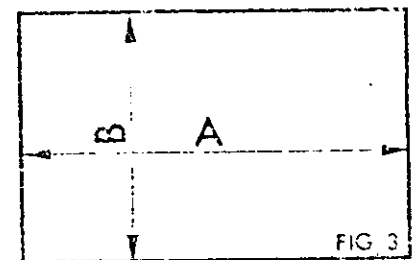
Important: Avoid possible injury and other serious mishaps by permitting children to play in pools ONLY during periods of adult supervision. Unattended and exposed pools may attract uninvited guests or pets, and lead to possible injury and other mishaps. Adequate safeguards such as safety ladders, pool alarms, covers, fencing and self locking gates should be used to protect your pool against uninvited entry.

**General information**

Due consideration should be given to local Council by-laws. All electrical equipment (filters, lead etc.) used in and around the pool should be properly earthed. Weatherproof plug and switches should be used and installed a minimum of 1.8 (6ft) mm above ground level and 10' (3m) from the pool perimeter, in accordance with the national Code. INSTALLATION OF PLUGS AND SWITCHES SHOULD BE CARRIED OUT BY A QUALIFIED ELECTRICIAN.



Caution: Do not erect your pool on gravel, asphalt, tarp paper or any oil based material, onion weed, nut grass or umbrella grass, grass or ground treated with weed killer (Except Snell Fly Var X).  
 If area has been treated with Snell Fly Var X leave for approximately 2 weeks before erecting your pool. Be sure your pool area is free from stones, sticks, wire, roots and other sharp objects.  
 Concrete is acceptable provided a bed of builders' fatty sand is used under liner.  
**Preparation of site:**  
 The ground upon which your pool is to be erected must be firm and level within 1" (25 mm).  
 Mark out the required area as shown in Fig. 3.  
 If necessary dig out the high side, check with carpenter's level and straight edge. Fig. 4.  
 The success of your installation depends entirely on how well the leveling is performed.  
**Note:** Under no circumstances is the low side of the selected site to be built up. The height and movement of the pool water will ultimately produce the filling, causing the pool to sink.



You will require the following items to successfully complete your installation.

Tools		Clean Builders' Fatty Sand		Metal Screening 1/2"		Concrete Sand		Cement Bag	
		Cu. Yd. or Cu. M.		Cu. Yd. or Cu. M.		Cu. Yd. or Cu. M.			
Straight edge 1" x 2" x 10'6" Long (or 100 mm x 51 mm x 320 cm Long)	1	2	or 3	1	or 1.5	1	or 1.5	1	
Carpenter's Level	1	3	or 3	1	or 1.5	1	or 1.5	2	
Line Level	1	4	or 3	1	or 2.5	1	or 2.5	3	
Hammer	1	5	or 3.5	1	or 3.5	1	or 3.5	4	
Screw Driver	1								
50 feet (15.24 m)	1								
Ball of string	1								
1 dozen stakes (about 12" long (20% cm))	1								
Roll adhesive tape	1								
Spade, Tamping Tool or Roller	1								
2' x 2' x 2" (or 61 cm x 61 cm x 51 mm)	1								
Concrete Slab (Filter Installation)	1								
2 plates Hardboard (App. 2" sq.)	1								

MODEL	A	B
2012	22' 0" 6706 mm	22' 0" 6706 mm
2412	26' 0" 7925 mm	22' 3" 6782 mm
3015	32' 0" 9754 mm	25' 8" 7813 mm
3815	40' 0" 12192 mm	25' 8" 7813 mm

Before commencing your pool installation check the following -

**Pool Cartons**  
 The table below shows how to select your pool cartons. Select your pool size from the left hand column. The top line shows the list of carton numbers to pack up your pool in the correct order.  
 Follow the line on which your pool size is shown. The numbers in the squares indicate the number of cartons of that identity.

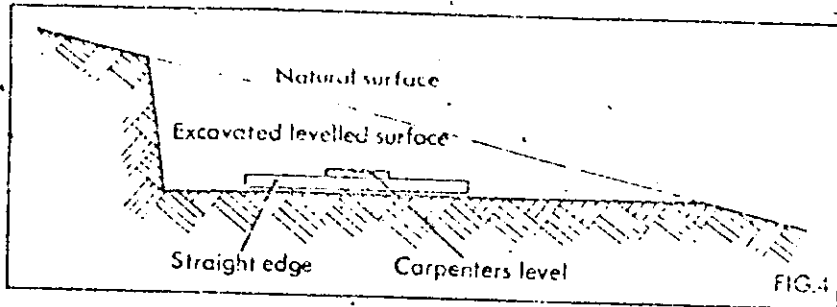
**Check for Liner.** If package deal purchased, check also for -  
 FILTER SYSTEM, LADDER,  
 CHEMICALS AND ACCESSORIES,  
 POOL PAD (OPTIONAL EXTRA).  
 When carrying the cartons check off the parts against the parts list.  
 For filter components check the instruction sheet packed with the filter.

POOL SIZES	CARTON NUMBERS											
	1	2	3	4	5	6	7	8	9	10	11	12
20' x 12' x 48"		1			1			1		1		
24' x 12' x 48"			1			1		1		1		
30' x 15' x 48"				1	2			1		1		1
38' x 15' x 48"	2					2		1		1		1

## Step 2

### Pre-assembly

- Pre-assemble the pool side frames (See Fig. 1.)
- Using 4 self tapping screws attach pressure plates (17) to each base rail (16).
- Using round headed screws (21) connect pressure plates to other.
- Position the frames in correct measured position, as shown in the ground plan.
- Mark the ground around the base channels (16) and skid rails (18).
- Remove the frames and excavate a trench for each base channel 3" x 3" (76 mm x 76 mm).
- Starting at the side man hole ends, excavate a hole 12" x 18" x 18" (457 mm x 457 mm x 457 mm) (See Fig. 5).
- Relocate the frames, and install to correct measurements shown on ground plan. Pressure plates must be resting on ground level.



## Step 2 continued

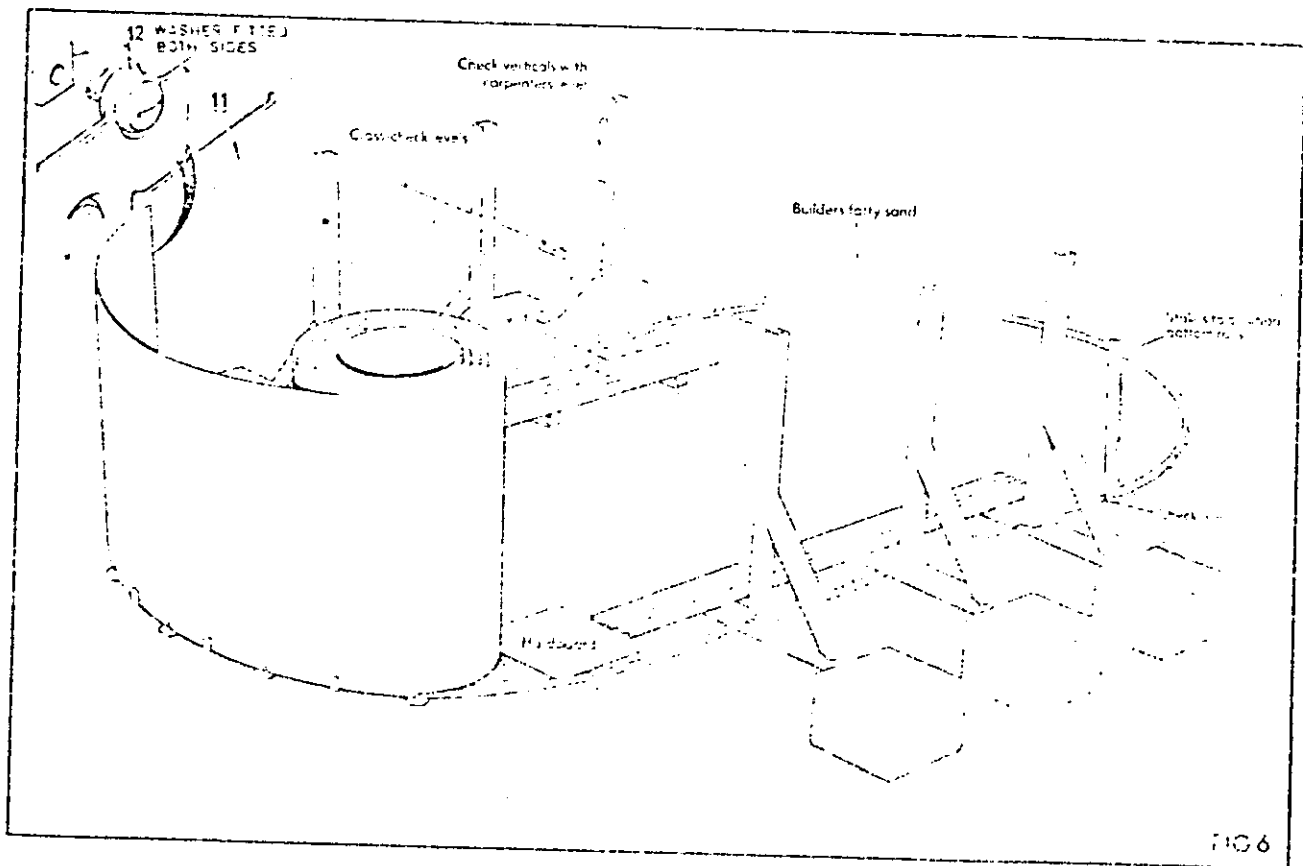
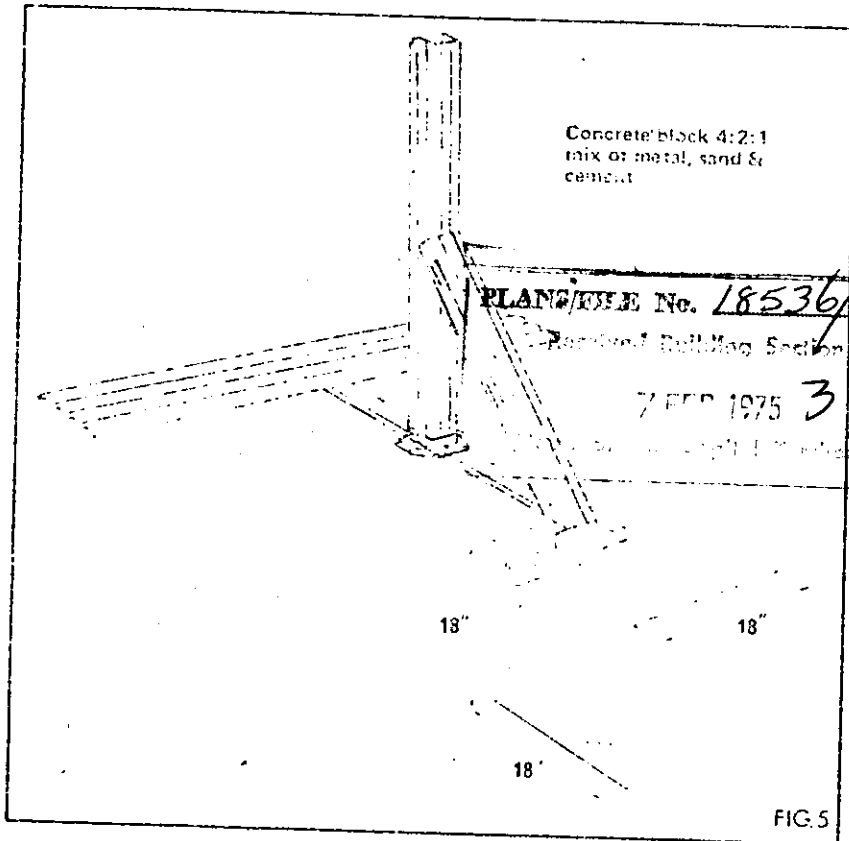
- (d) Check whether all uprights are vertical, in line, and level with each other. Use line to check levels across pool to opposite frames. See Fig. 6.
- Note: At this stage temporarily install connectors and seats to ensure correct alignment (remove after concrete has set).
- (e) Mix and pour concrete into large holes until at ground level. Also fill in base channel up to vertical support. See Fig. 5.
- (f) While concrete is still wet, recheck all levels and adjust if necessary. Allow concrete to set for at least 12 hours.
- (g) Place the required amount of Builder's fatty sand inside the pool area.

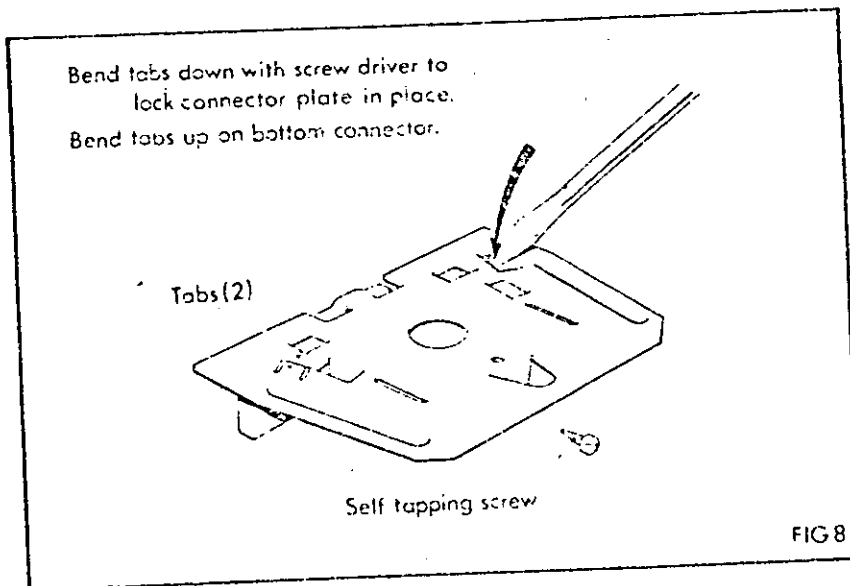
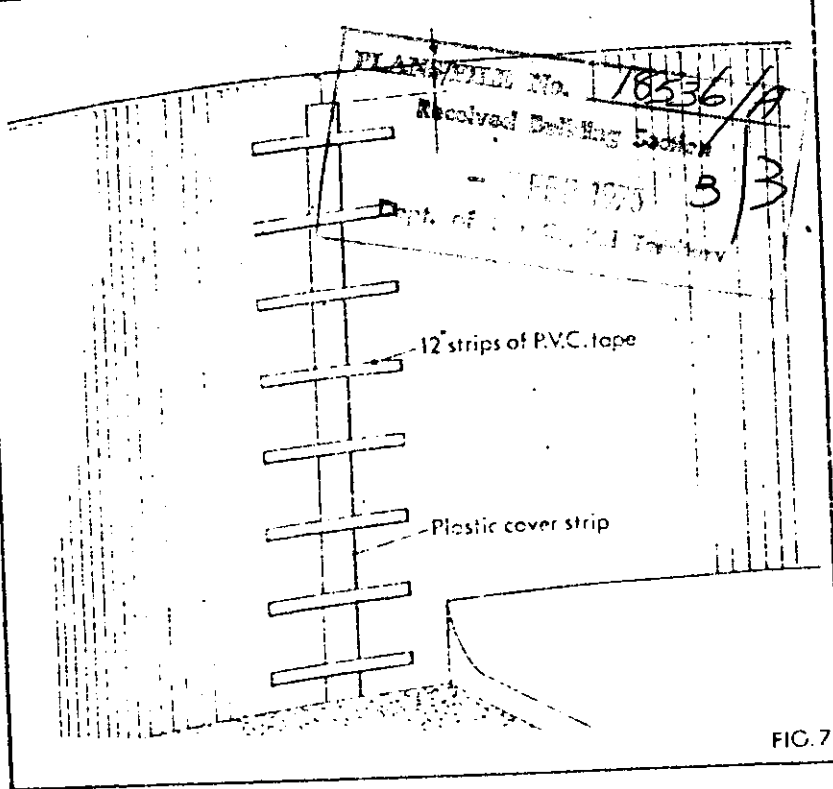
## Step 3

### Step 3 Sidewall Assembly

Note: During assembly, take special care when fitting the sections. Careless handling may result in a buckled wall. This is only a neighbour or friend would be a great help when erecting. Allow many sunny days should be allowed.

- (a) Locate peg positions 1 and 2 as shown in ground plan. Tie a marker from the level to one end of a line and from each peg to the other end and radius in between with. This will be a guide for laying the base rails.
- (b) Select and install end rails for between side supports, these rails have a larger curve than the end rails.  $30 \times 12 = 2$  rails,  $24 \times 12 = 1$  rail,  $30 \times 15 = 6$  rails,  $30 \times 15 = 10$  rails (you have a corresponding number of top rails).
- (c) Slide the end rails into the connectors leaving approximately  $1/4"$  gap between them, and position with stakes so the rails conform to the radii marked out previously.
- (d) Check the distance to the apex of the curve from pegs 1 and 2 making sure that the apex is in line with the 2 pegs (see ground plan).





- (e) Check filtration holes which are located 18" (457 mm) from the end of wall. Ensure that they are at the top before uncoiling.
- (f) Decide where the filtration unit is to be installed. Consider drainage and the nearest power point.
- (g) Use 2 sheets of hardboard, or similar, about 24" (61 cm) square. One to stand the coiled wall on, the other to move it onto as you progress. (See Fig. 6.) Remembering that the joint should be hidden behind a vertical support, start uncoiling the wall with the end directly over a connector thus covering joint by a vertical. It is advisable to have someone hold the end of the wall, to prevent it creeping along in the rain. A few rails (6) may be placed on top of the wall to give rigidity whilst uncoiling.
- (h) On reaching the end of the roll the bolt holes may not line up. This alignment is achieved by moving the rails in or out to suit. When the

- holes do line up, loosely assemble all the screws, nuts and washers.  
Note: It is important to fit a washer to each side of the wall and have the screw head inside the pool. (See Fig. 6.)
- (i) Firmly tighten all nuts.
- (j) Cover the screw heads with the plastic cover strip by taping it firmly into place starting from the bottom. Cut off 1" (25 mm) from the top. (See Fig. 7.)
- (k) Ensure there is an even gap between the rail ends. Check (c).
- (l) Install the verticals (10) onto each bottom connector, bend connector tabs up. (See Fig. 8) to hold verticals in position, and secure with self tapping screws.
- (m) Temporarily hold wall and vertical together with top connector.

### Step 4

Step 4 Wall Skimmer Installation  
Refer to wall skimmer instruction

### Step 5

Step 5 Pool Preparation For Liner

- (a) Remove the centre peg and stakes.
- (b) Lift up pressure plates (17) by unscrewing 4 self tapping screws on each base rail.
- (c) Pack sand tightly into base rails and under pressure plates.
- (d) Reinstall pressure plates and secure.  
Note: It is very important that this step be done correctly. The sand has to be packed tightly to eliminate movement of pressure plate when walked upon.
- (e) Spread the sand over the entire floor area to an even depth of approximately 2" (50 mm) making sure you have 2" (50 mm) of sand over the pressure plate. (See Fig. 9.)
- (f) Build up an even cone of sand around the wall of the pool 6" (152 mm) high as shown in Fig. 9.
- (g) Compact the sand by tamping or rolling until a foot print no longer shows.

### Step 6

Step 6 Installation Of Liner

- (a) Place the pool pad (optional extra) over the entire floor area and hold it in position by taping it to the pool wall.
- (b) Unroll the liner in the centre of the pool with the patterned side up. (The liner is easier to install if left unrolled in the sun to warm and soften.)
- (c) Position the liner so that wall-floor seam is an equal distance from pool wall at both ends and sides.
- (d) The liner has several seams running along the pool floor, which must be straight and parallel to centre line.
- (e) Pull the liner wall up over the pool wall and hold in place with the plastic coping strips.
- (f) Commence running water into pool and immediately start to remove any creases, working from the centre outwards.  
Note: It is impossible to remove creases with more than 1" (25 mm) of water on floor.
- (g) Continue to run water and adjust liner tension on the wall by removing coping one at a time. Remove all creases from liner wall and continue to tilt to approximately 2 ft. (61 cm) deep.
- (h) Install liner over wall as shown in Fig. 9.
- (i) Install top rails and connector plates.
- (j) Bend down connector tabs (See Fig. 8) and secure with self tapping screws.
- (k) Refer to Wall Skimmer and Filter Instructions for installation of same.

**PLAN OF SANITARY DRAINAGE**

FOR

OWNER: **STOCKS & HOLDINGS LTD.**

BLOCK: **6, 7, 8. SECTION: 19 HIGGINS.**

**REFERENCE**

G.T. GULLY TRAP  
D.T. DISCONNECTOR TRAP

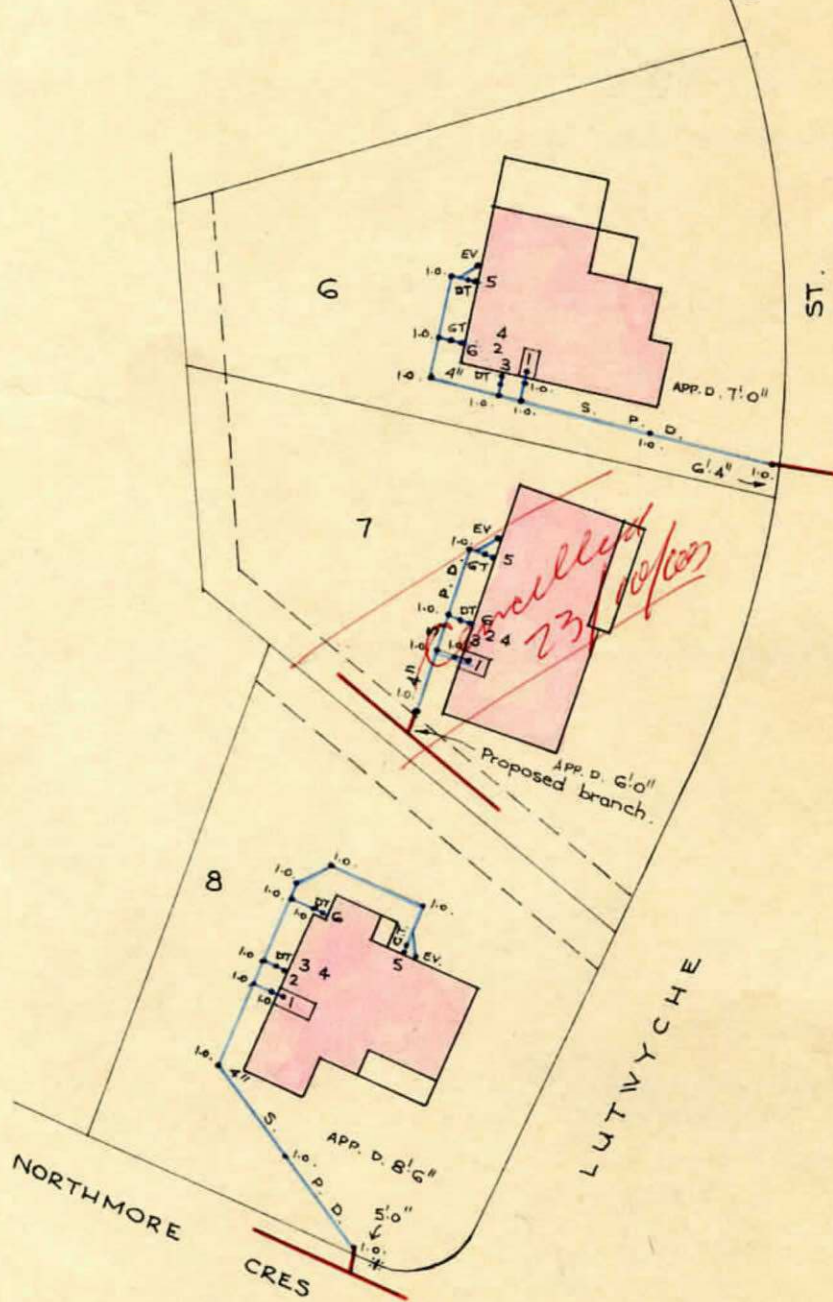
S.P.D. STONEWARE PIPE DRAIN  
S.V.P. SOIL VENT PIPE

E.V. EDUCT VENT  
I.O. INSPECTION OPENING

NOTE: All work to be executed in accordance with the Canberra Sewerage and Water Supply Regulations.

SCALE: 40 FEET TO 1 INCH

- FIXTURES:**
- |                |          |           |
|----------------|----------|-----------|
| 1. W.C. (Int.) | 2. Basin | 3. Bath   |
| 4. Shower      | 5. Sink  | 6. Trough |



- NOTE:
1. DRAINS TO BE LAID SHOWN IN BLUE LINES.
  2. THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS AND SPECIFICATIONS.
  3. PROPOSED BRANCH FOR BLOCK 7 TO BE PROVIDED BY DEPT. OF WORKS AT OWNERS EXPENSE.