

LOT 327 DP.1187399
50 Country Club Drive
CATALINA NSW 2536



ENVIRONMENTAL PLANNING AND
ASSESSMENT ACT 1979
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Sheet Number 1 of 10



- 1. TITLE PAGE
- 2. SITE PLAN, DRIVEWAY AND BUSHFIRE
- 3. LANDSCAPING, PRIVATE OPEN SPACE & STORMWATER
- 4. BASIX
- 5. FLOOR PLANS DWELLING 1 AND 2
- 6. FLOOR PLAN DWELLING 3
- 7. SECTIONS DWELLINGS 1, 2 AND 3
- 8. ELEVATIONS DWELLING 1
- 9. ELEVATIONS DWELLING 2
- 10. ELEVATIONS DWELLING 3

CLIENT: DUNN?>

TITLE: working drawing

PROJECT:
PROPOSED INTEGRATED HOUSING
3 UNIT DEVELOPMENT
LOT 327 DP 1187399
50 COUNTRY CLUB DRIVE, CATALINA

DWG No. 1/10

DATE: 27/12/18

SCALE: 1:100

ISSUE: A



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(D1) EASEMENT TO DRAIN WATER 2 WIDE (DP 1187399)
(D2) EASEMENT TO DRAIN WATER 6.095 WIDE (DP 1187399)
(W) EASEMENT TO DRAIN WATER 6.095 WIDE (DP 241408)



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landscaping, private open
space & stormwater

landscaping

DW No.1	56m ²		LAWN
DW No.1	40m ²		PLANTS
DW No.2	70m ²		LAWN
DW No.2	30m ²		PLANTS
DW No.3	100m ²		LAWN
DW No.3	50m ²		PLANTS

private open space

Dwellings 1, 2 and 3
23m² each to upper deck

CLIENT:
AYMIME PTY LTD & FAROLO PTY LTD

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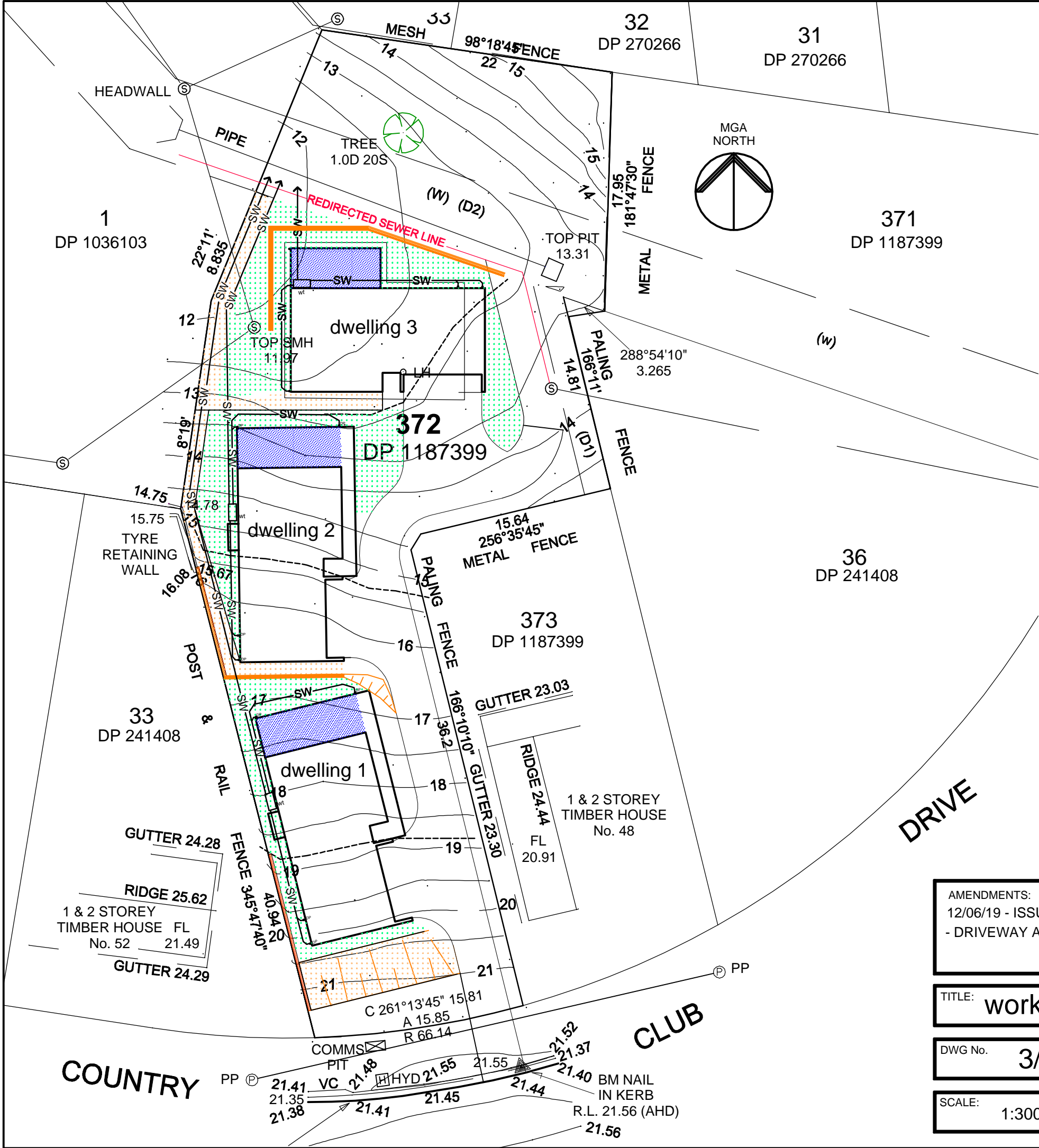
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AMENDMENTS:
12/06/19 - ISSUE B - Pages 2/10 and 3/10 only
- DRIVEWAY AMENDED

TITLE: working drawing

DWG No. 3/10 DATE: 12/06/19

SCALE: 1:300 ISSUE: B



basix schedule

SITE DETAILS:

- OVERALL SITE AREA 1591m²
- AREA OF GARDEN AND LAWN :
 - DW 1 - 56m² LAWN AND 40m² OF LOW WATER USE PLANTS
 - DW 2 - 70m² LAWN AND 30m² OF LOW WATER USE PLANTS
 - DW 3 - 100m² LAWN AND 50m² OF LOW WATER USE PLANTS
- AREA OF ROOF OVERALL
 - DW 1 - 154m²
 - DW 2 - 154m²
 - DW 3 - 152m²

PROJECT DESCRIPTION:

- DWELLING 1 - 3
- 3 BEDROOMS
 - DW 1 - CON. 127m² UNCOND. 15m²
 - DW 2 - CON. 127m² UNCOND. 15m²
 - DW 3 - CON. 127m² UNCOND. 15m²

WATER REQUIREMENTS:

- SHOWER HEADS AND TOILETS ARE TO HAVE A 3 STAR RATING, KITCHEN AND BATH TAPS ARE TO HAVE A 3 STAR RATING
- ALL DWELLINGS MUST HAVE A MINIMUM 1000 LITRE WATER TANK TO COLLECT AT LEAST ONE WC.

THERMAL COMFORT COMMITMENTS

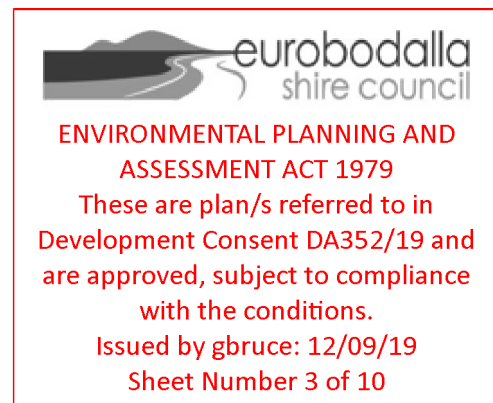
AS PER ENERGY ASSESSOR

ENERGY COMMITMENTS

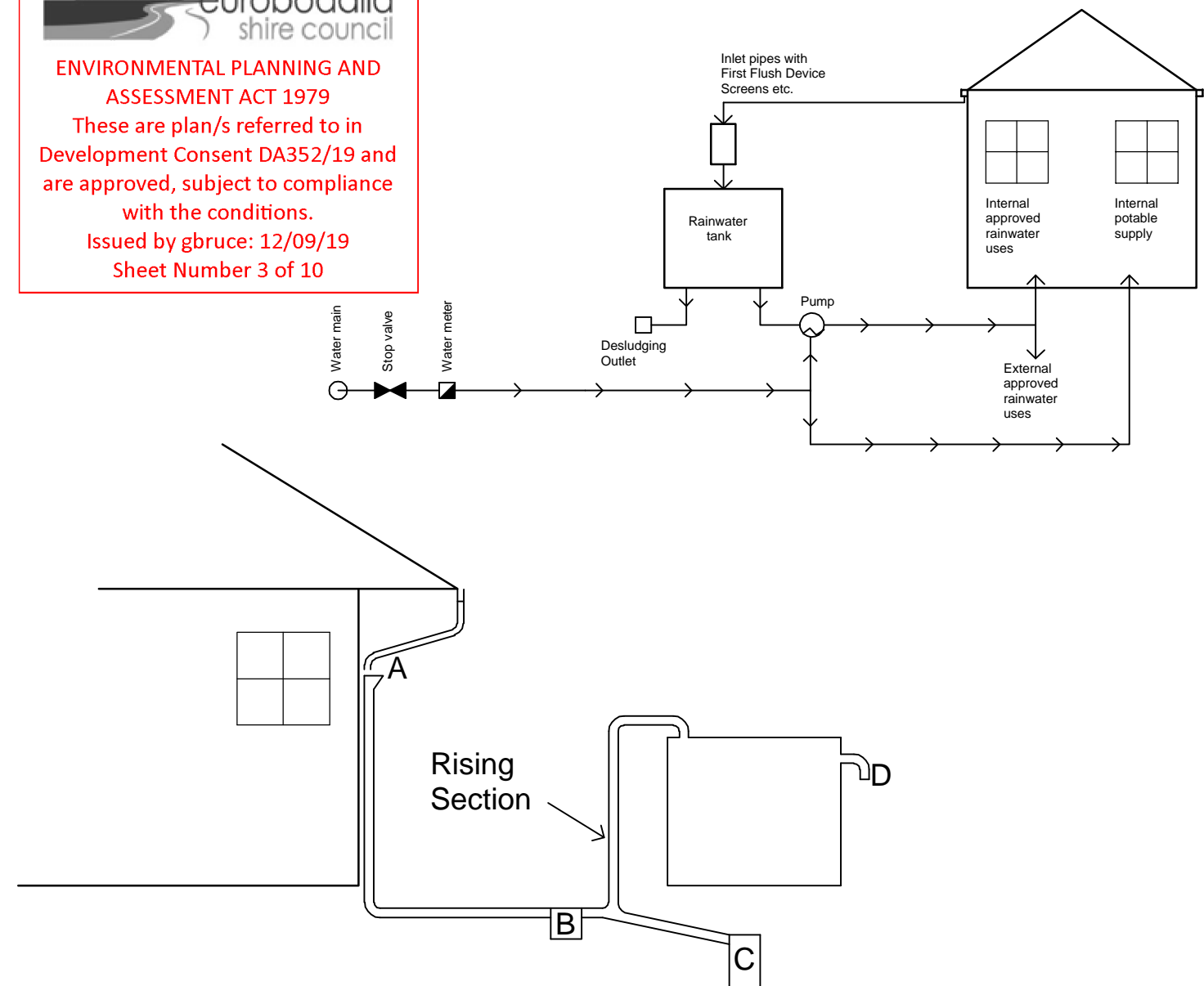
- ALL DWELLINGS WILL EACH HAVE THE FOLLOWING:
- GAS INSTANTANEOUS HWS SERVICE WITH A 6 STAR RATING
 - THERE WILL BE CEILING FANS FOR COOLING, AND NO HEATING
 - VENTILATION SYSTEMS TO THE KITCHEN AND BATHROOM WITH AN INDIVIDUAL FAN, NOT DUCTED AND WITH A MANUAL ON/OFF SWITCH.
 - A GAS COOKTOP AND ELECTRIC OVEN ARE TO BE INSTALLED IN THE KITCHEN.
 - A FIXED OUTDOOR CLOTHES LINE IS TO BE SUPPLIED.
 - PRIMARY LIGHTING TO ALL DWELLINGS
 - A PHOTOVOLTAIC SYSTEM WITH A RATED ELECTRICAL OUTPUT OF 1.0 PEAK KW

general notation:

1. ALL LEVELS AND DIMENSIONS ARE TO BE CHECKED ONSITE PRIOR TO COMMENCEMENT OF ANY WORKS.
2. THE BUILDER IS TO ENSURE THE FOOTINGS BARE ON ADEQUATE FOUNDATION MATERIAL.
3. TERMITE PROTECTION IS TO BE AS PER BCA PART 3.1.3.
4. SMOKE DETECTORS ARE TO BE AS PER BCA PART 3.7 FIRE SAFETY, CLAUSE 3.7.2.
5. CONCRETE SLAB AND FOOTINGS AS PER ENGINEERS DETAILS.
6. CONSTRUCTION TO BE AS PER BCA AND RELEVANT STANDARDS.
7. FIRE SEPARATION WALL AS PER NCC PART 3.7.1.8



Plumbing configuration for rainwater tanks.



ABOVE GROUND TANK TYPICAL ARRANGEMENT

- A - Leaf Eater Rainhead or Similar
- B - Pit with small dia. orifice and outlet pipe to drain rising section.
- C - First Flush Diversion Device
- D - Overflow pipe

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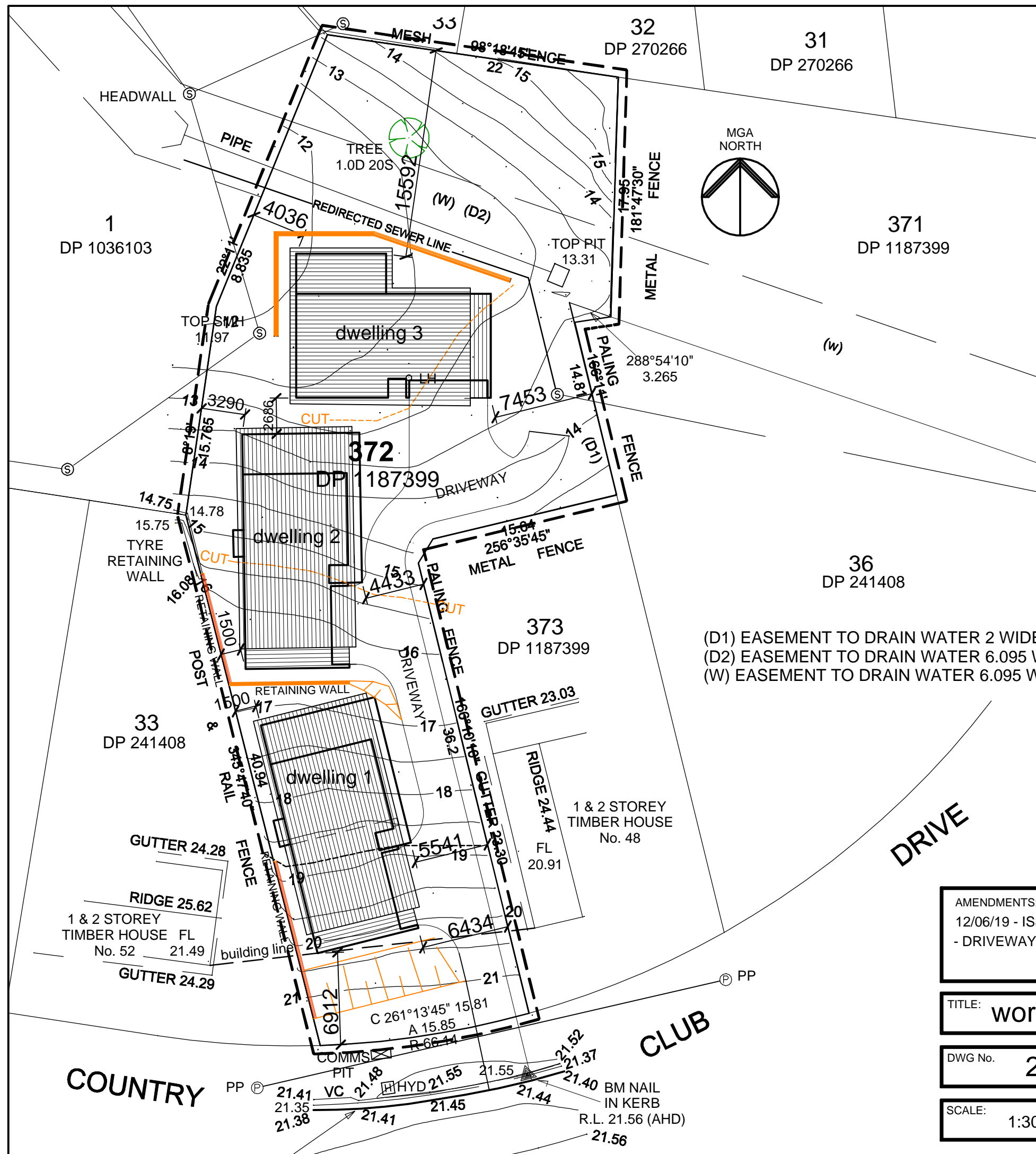
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bushfire - BAL 12.5
CONSTRUCTION TO BE AS PER BAL-12.5 AS.3959-2009,
CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS,
AND A3.7 ADDITIONAL CONSTRUCTION REQUIREMENTS IN
BPB ADDENDUM: APPENDIX 3, 2010.
apz - - - -
ENTIRE BLOCK IS CLEARED AND CONSIDERED THE APZ


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(W) EASEMENT TO DRAIN WATER 6.095 WIDE (DP 241408)

site plan, driveway and
bushfire

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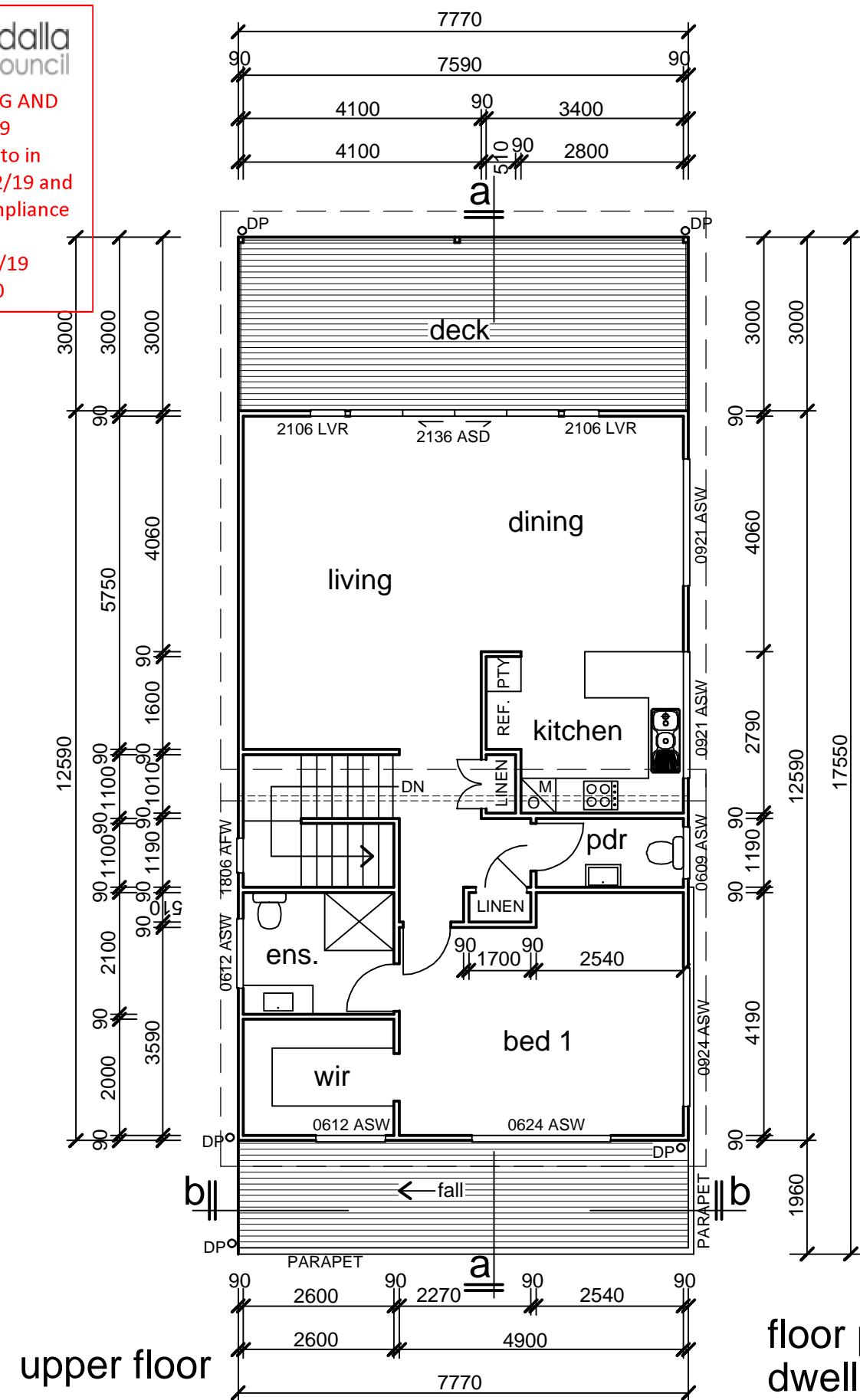
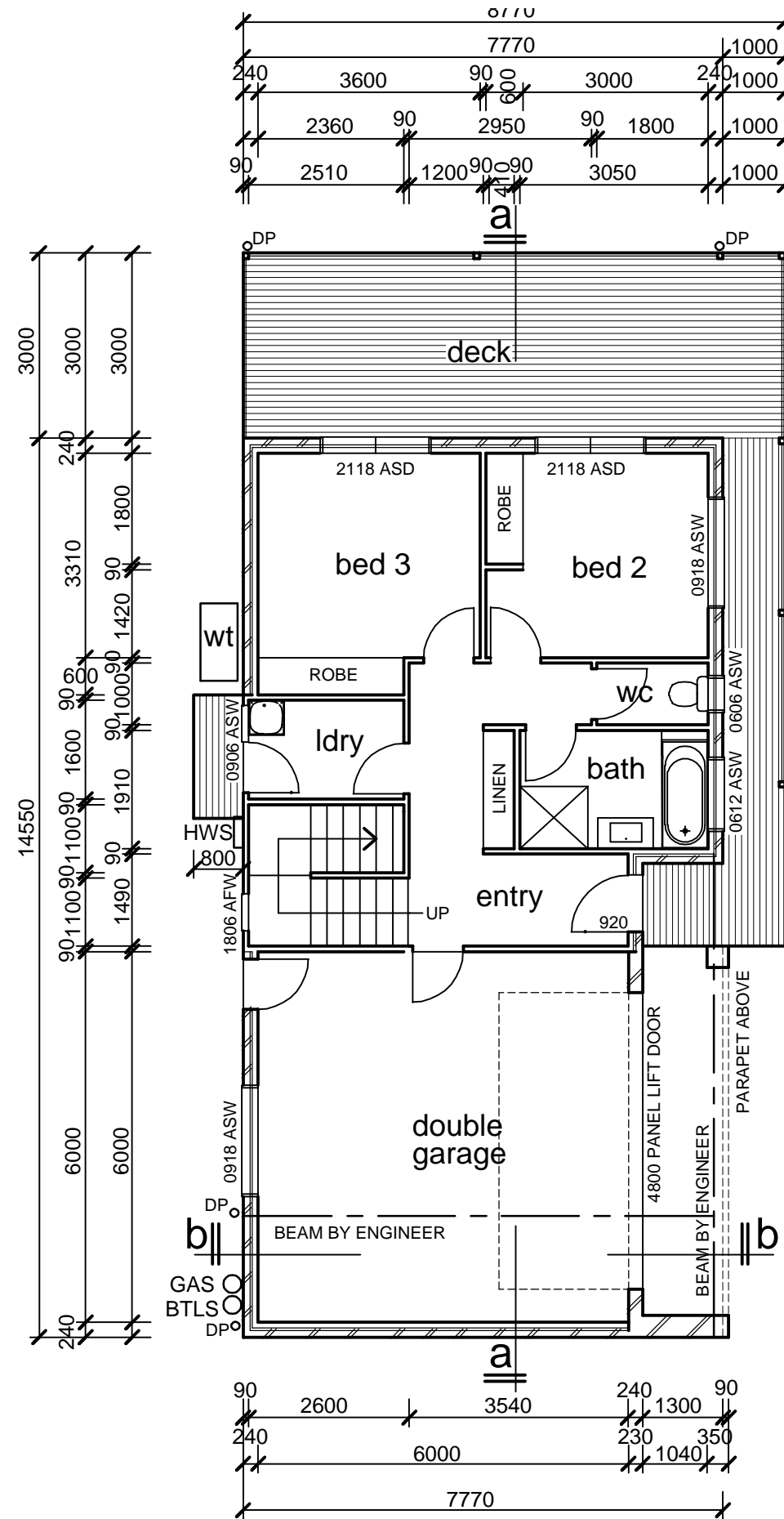
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floor plan
dwelling 1 and 2

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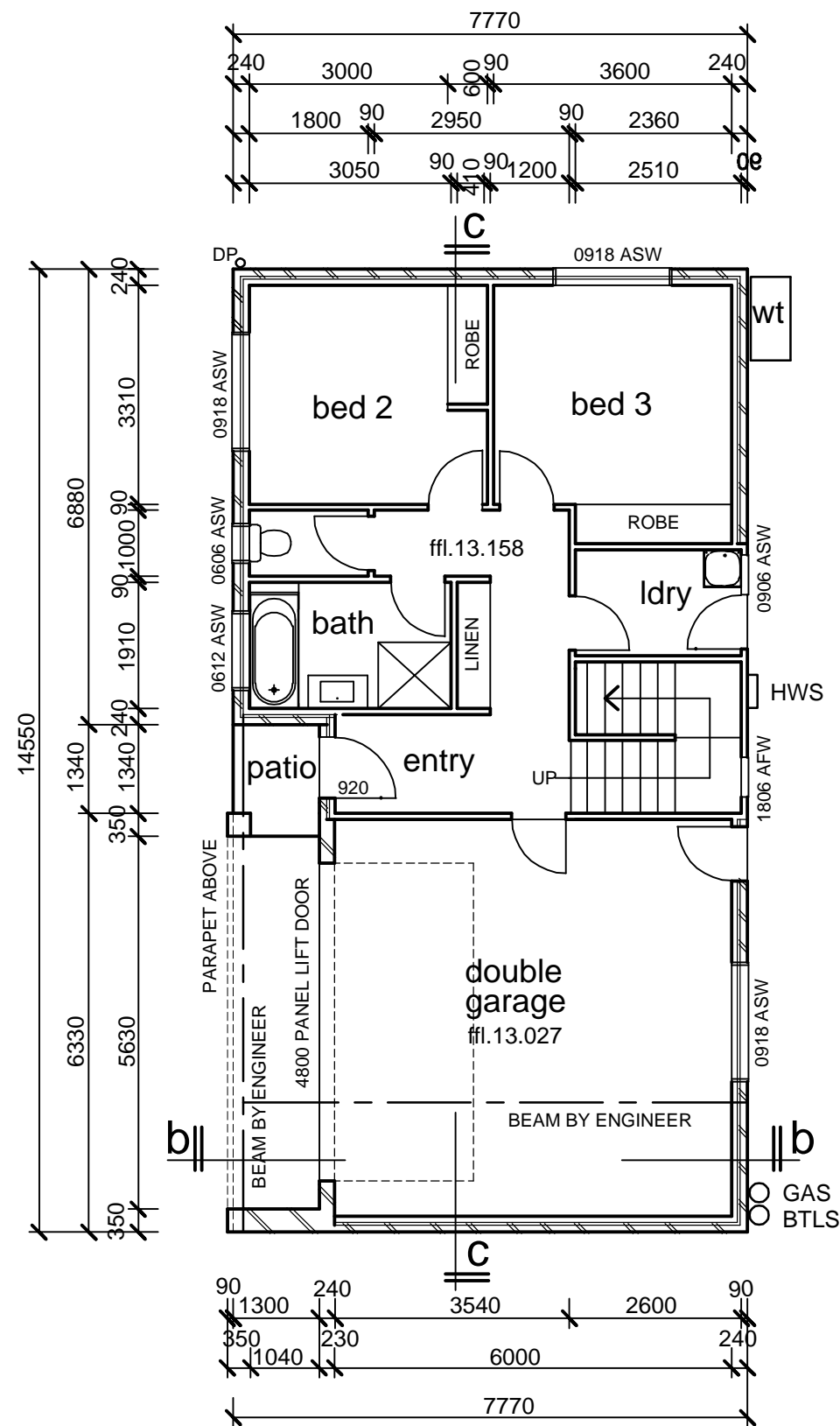
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lower floor

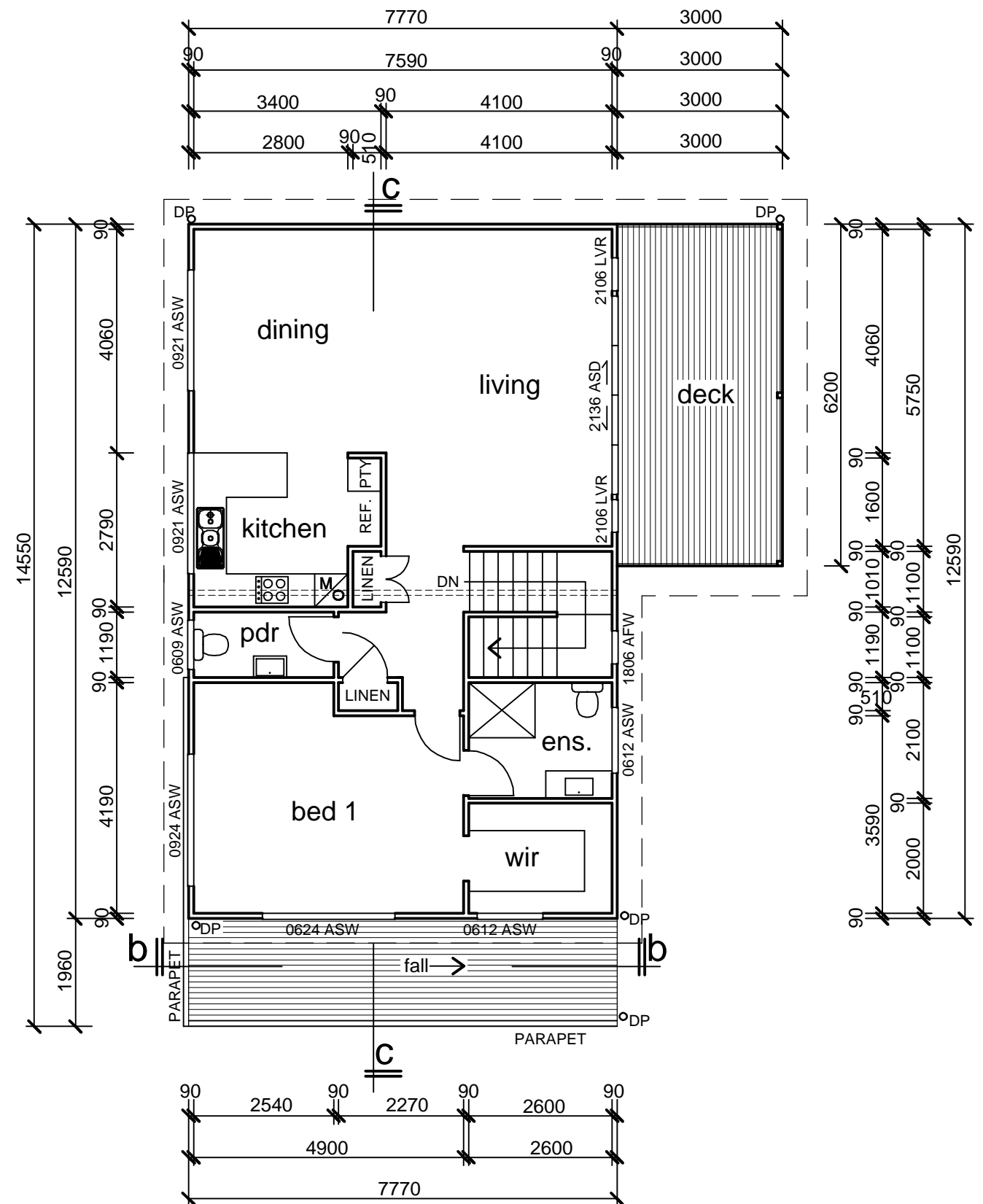
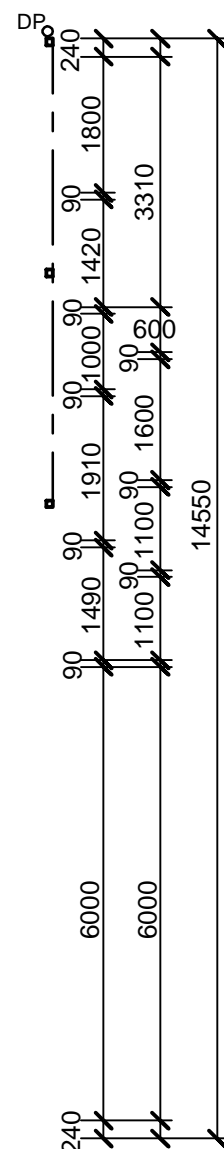


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upper floor

floor plan
dwelling 3

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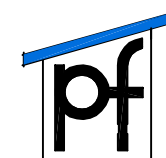
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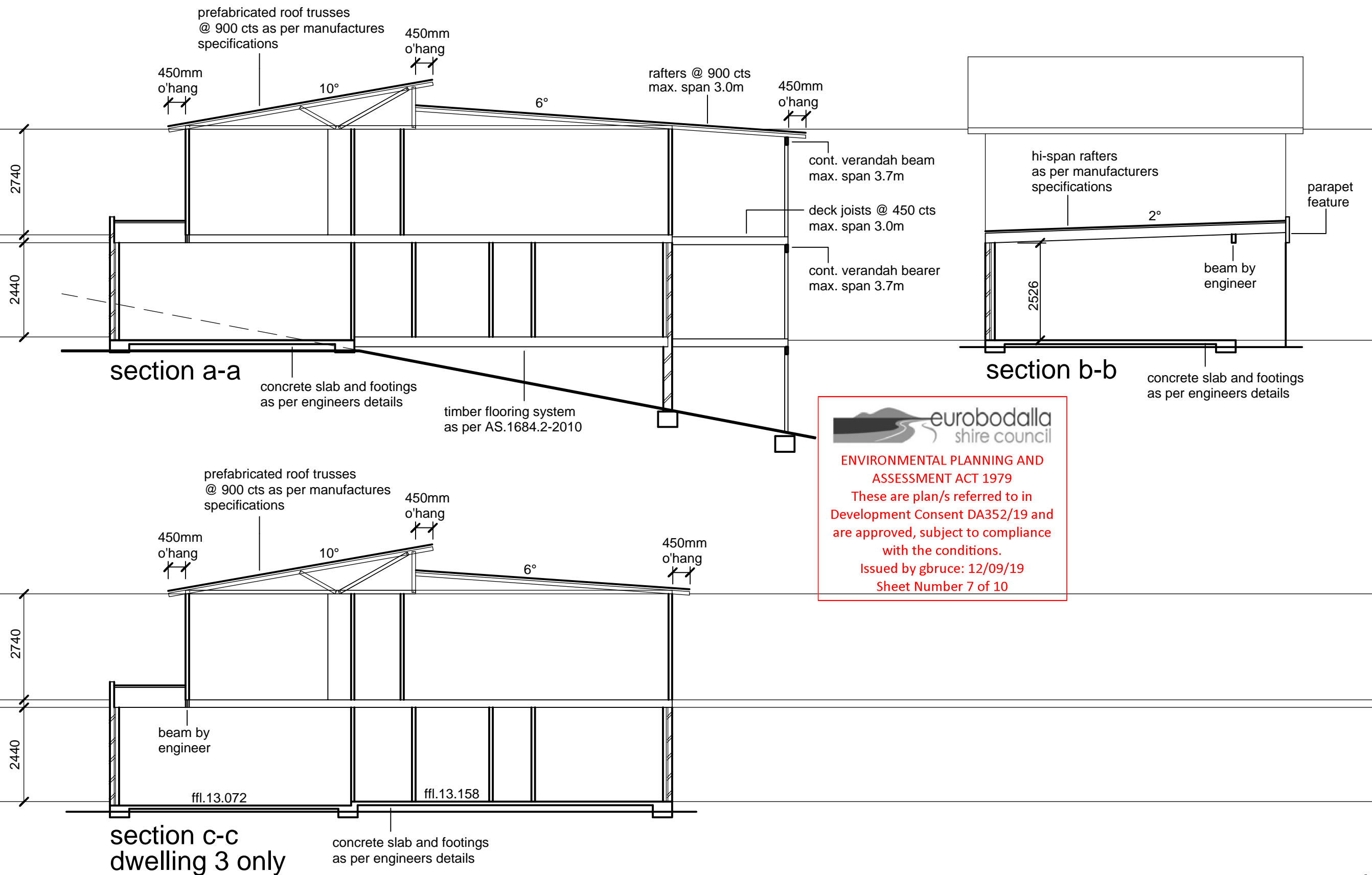
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sections

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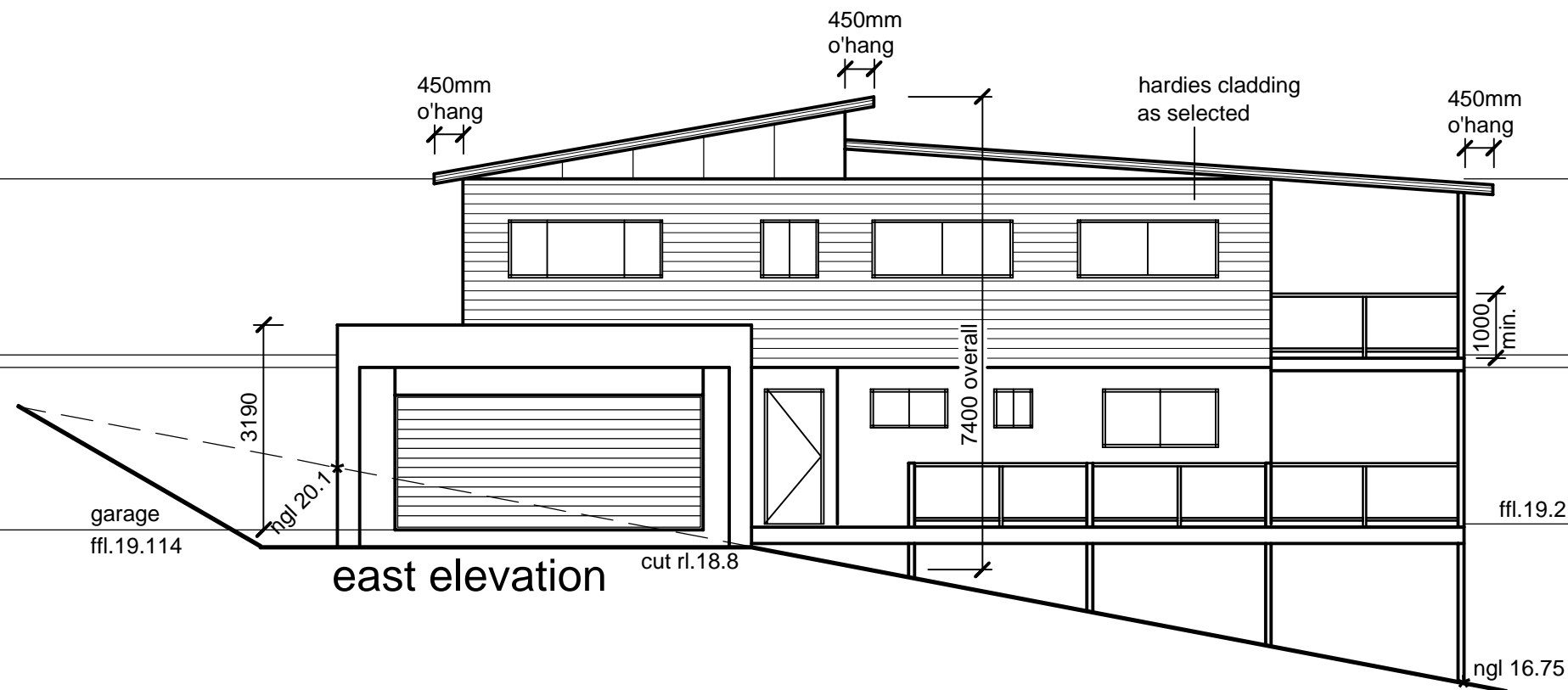
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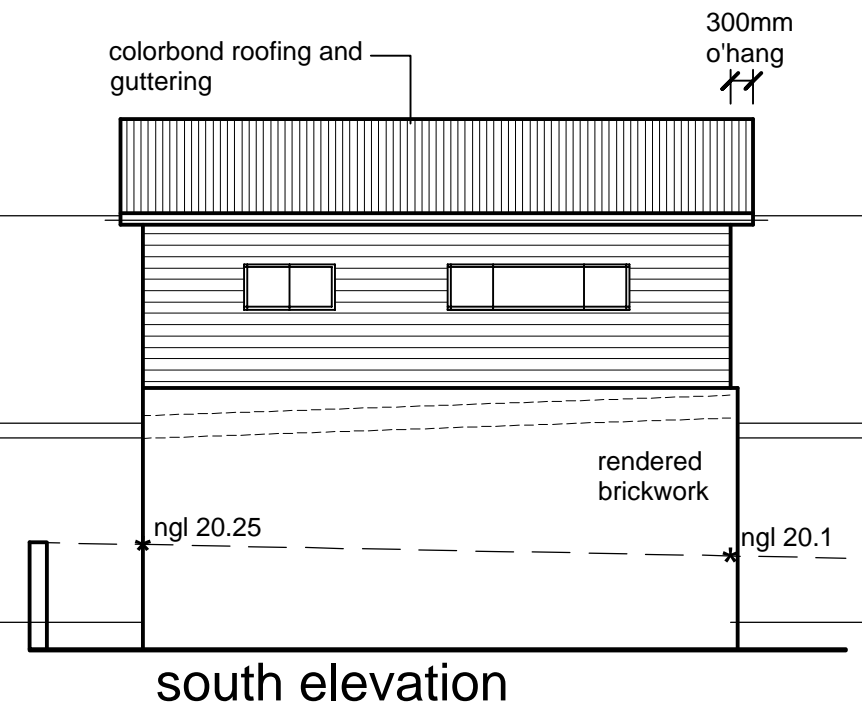
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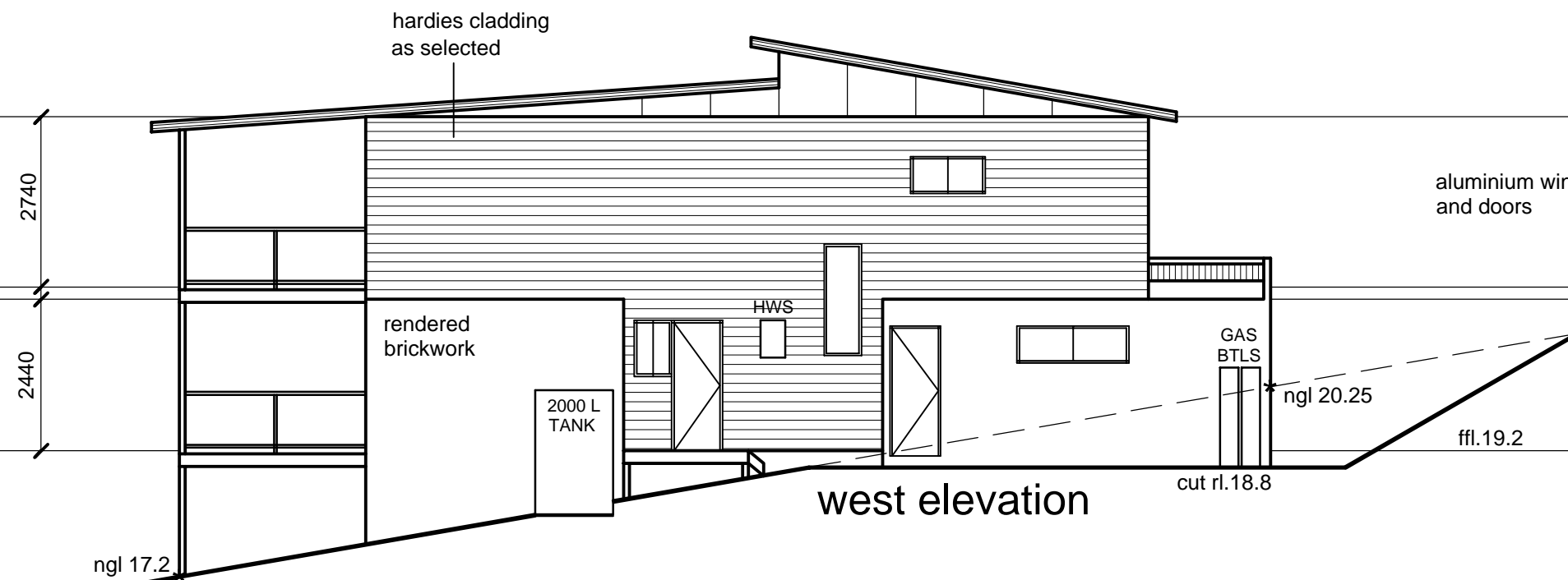
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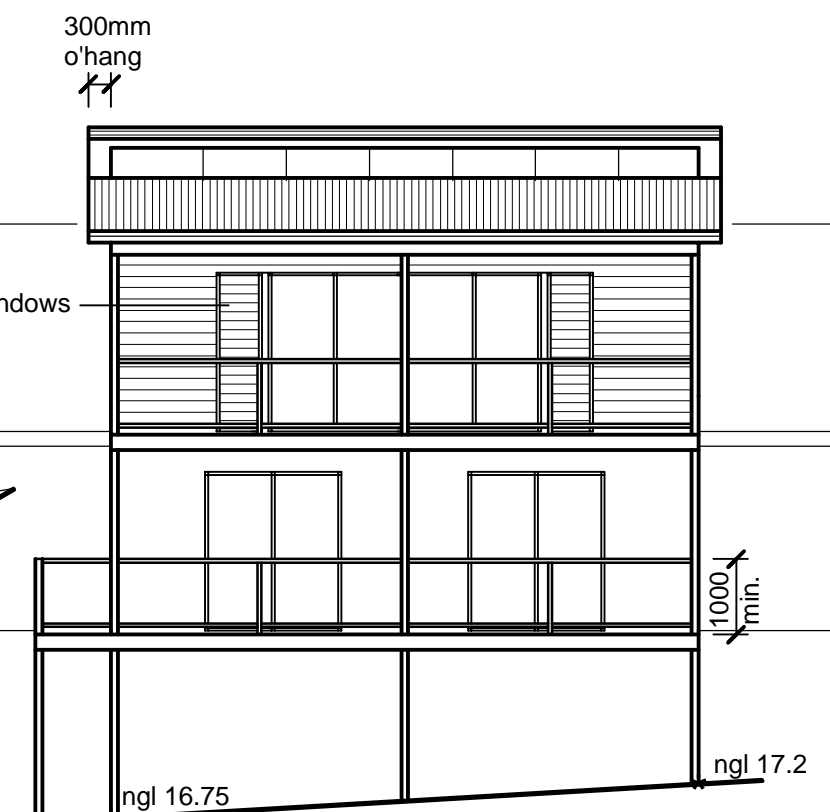
east elevation




south elevation



west elevation



north elevation

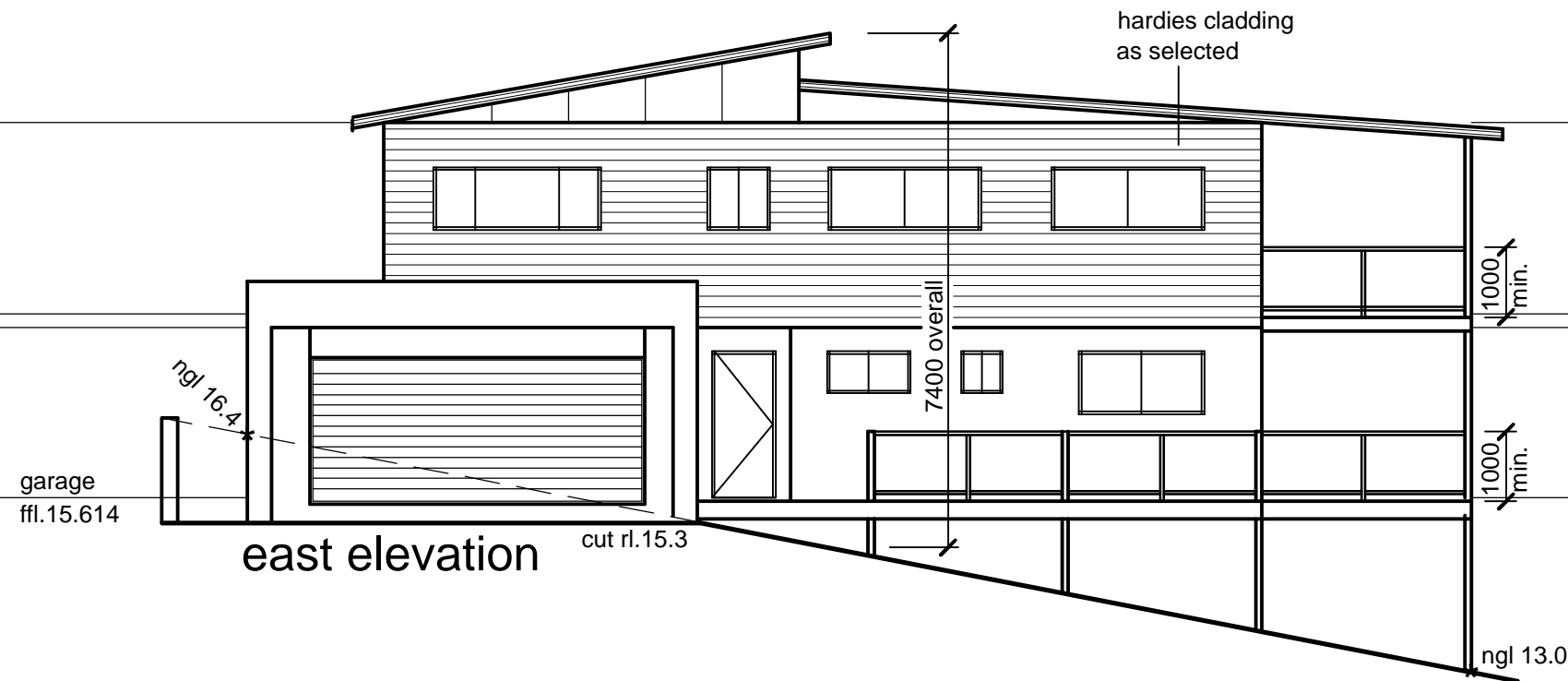

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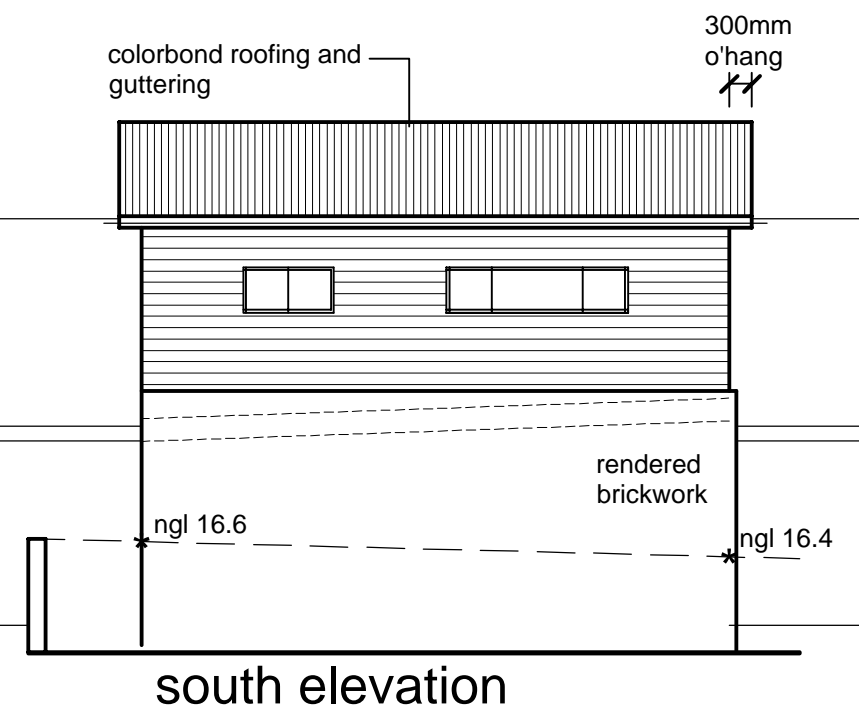
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dwelling 1 elevations

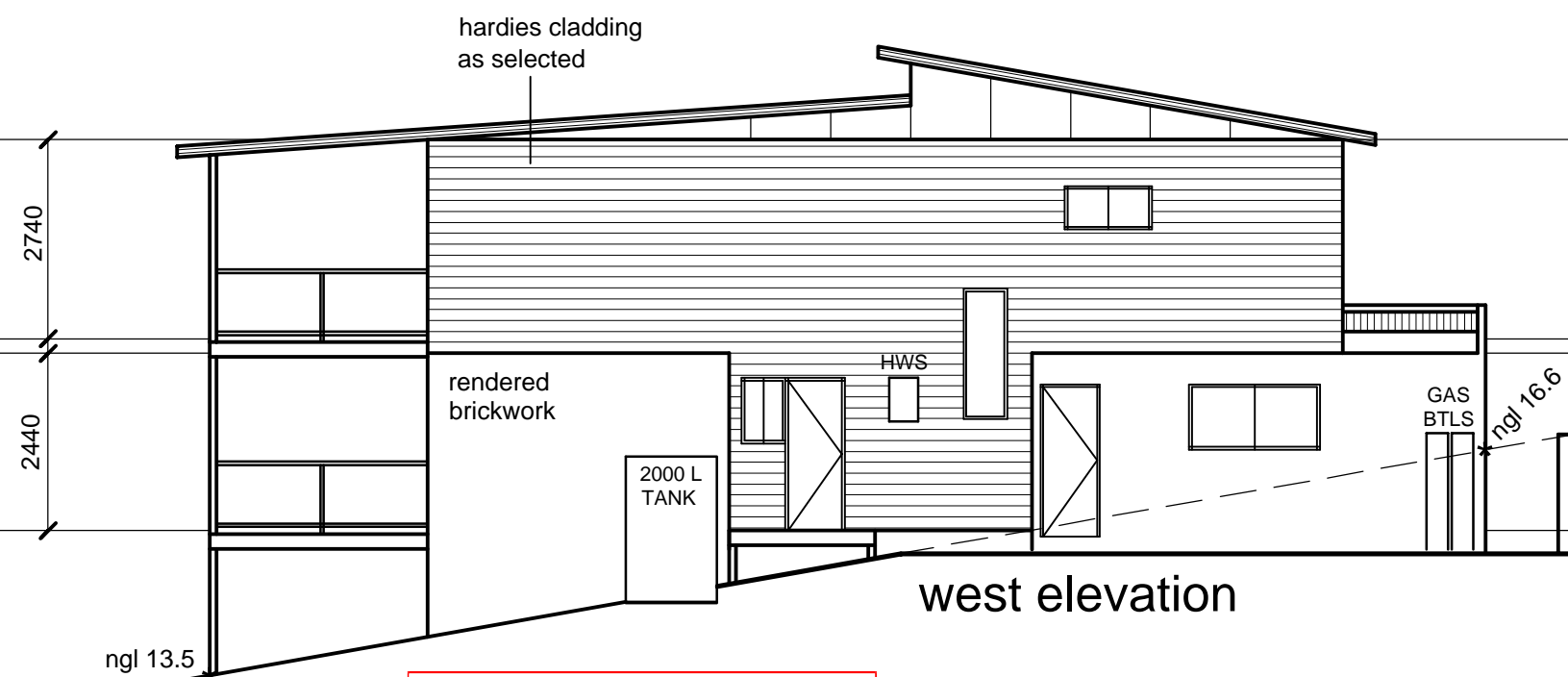
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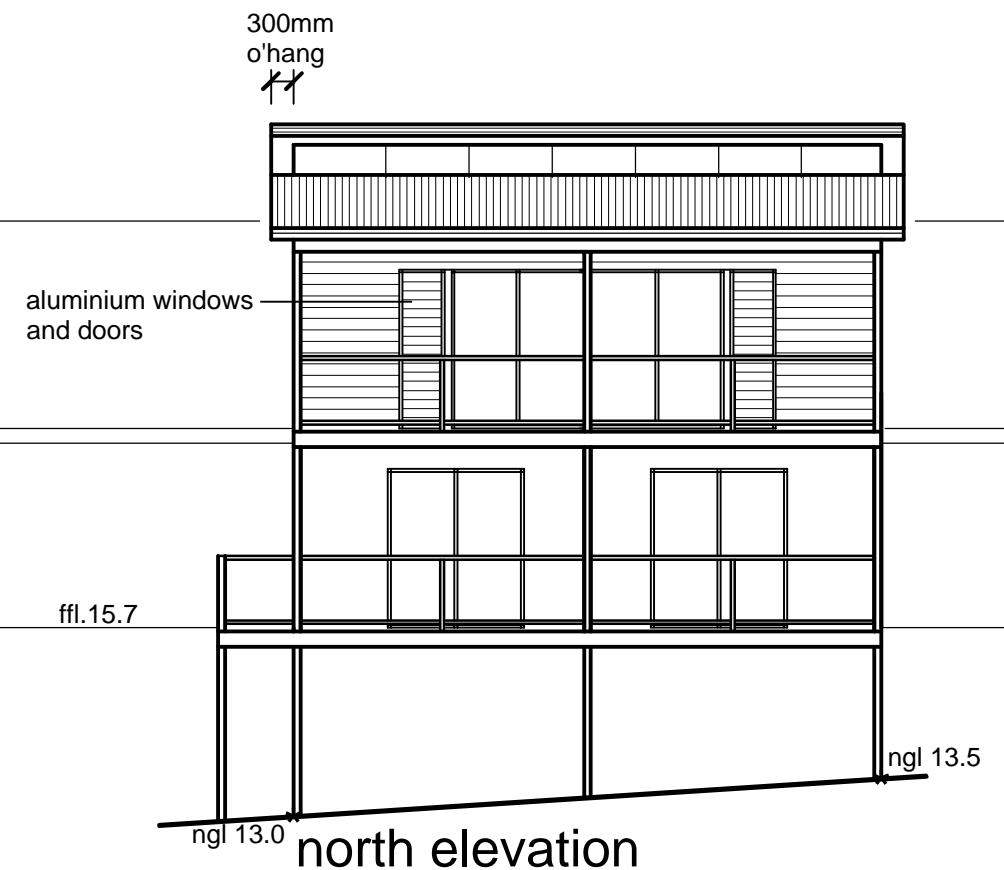
east elevation



south elevation



west elevation



north elevation



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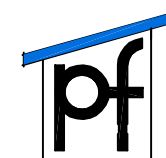
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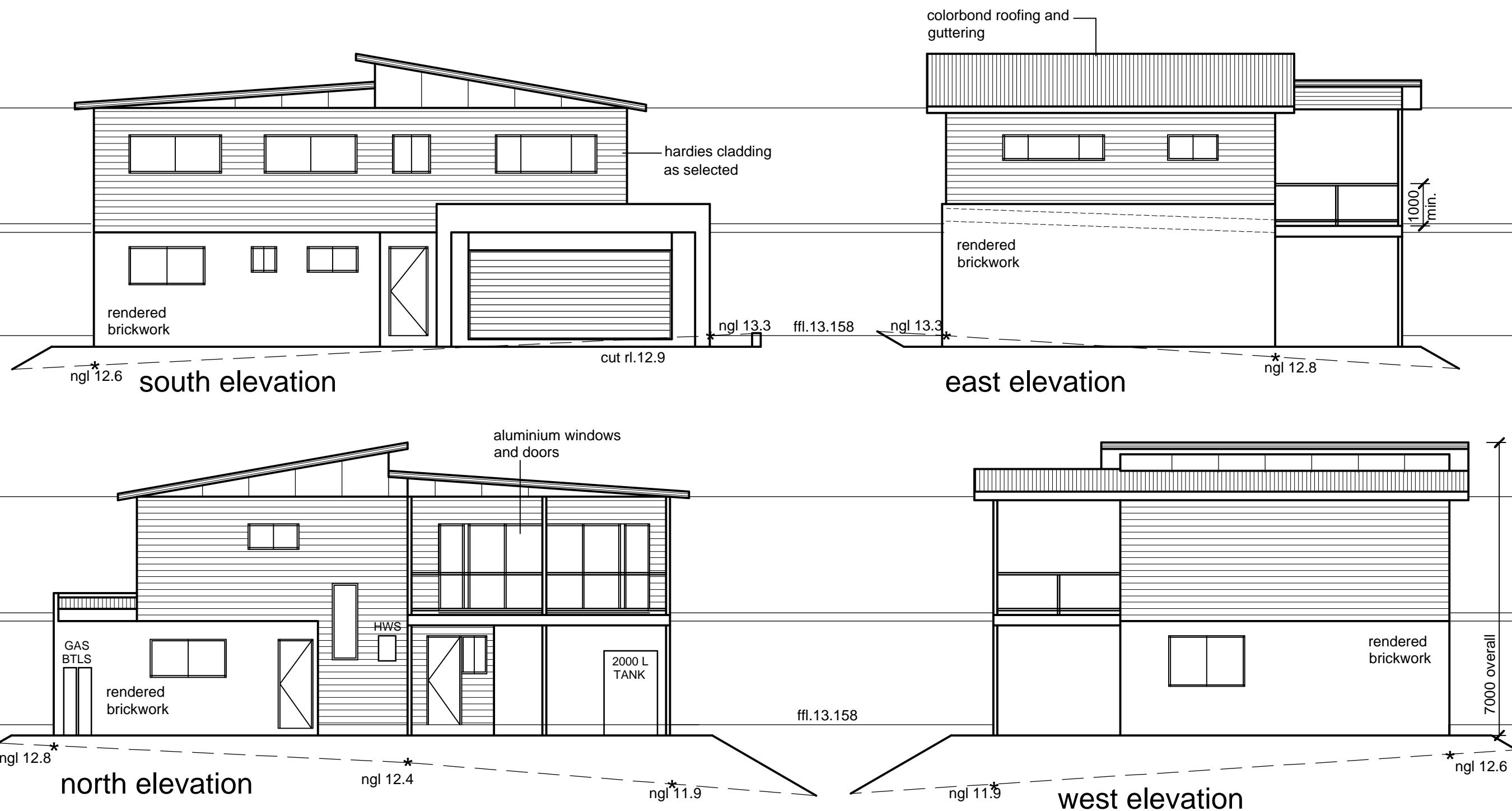
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dwelling 2 elevations



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dwelling 3 elevations



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